

Staff Report

PLANNING DIVISION COMMUNITY & NEIGHBORHOODS

To: Salt Lake City Historic Landmark Commission

From: Nelson Knight, Senior Planner 801-535-7758 or <u>nelson.knight@slcgov.com</u>

Date: October 1, 2020

Re: **Petition PLNHLC2020-00714 – Major Alteration Petition PLNHLC2020-00590 – Special Exceptions**

MAJOR ALTERATION & SPECIAL EXCEPTIONS

PROPERTY ADDRESS: 1218 E. 3RD Avenue PARCEL ID: 09-33-351-0001-0000 HISTORIC DISTRICT: Avenues MASTER PLAN: Avenues Master Plan ZONING DISTRICT: SR-1A Special Development Pattern Residential District & H Historic Preservation Overlay District DESIGN GUIDELINES: Residential Design Guidelines (Additions and Accessory Structures)

- **REQUEST:** Jeff Schindewolf, Architect, on behalf of the property owners, Scott and Jen Provost, is requesting approval from the City to construct an addition to the rear of the existing single family residence, and replace the existing garage with a new garage in a new configuration in the same location. The house is a contributing building within the Avenues Historic District and is zoned SR-1A (Special Development Pattern Residential District). This proposal requires review and approval of the following petitions:
 - PLNHLC2020-00714 A Certificate of Appropriateness (CoA) for a Major Alterations to a contributing structure, and construction of a new accessory structure (garage)
 - PLNHLC2020-00590 Special Exceptions: The applicant is requesting two special exceptions for this project:
 - The applicant requests an exception to the maximum overall height from twenty three feet (23') to twenty eight feet (28').
 - The applicant requests an exception to the maximum building wall heights for the east and west sides of the house.
 - The applicant requests an exception to the maximum width of a dormer wall from ten feet (10') to fifteen feet (15').
 - The applicant requests exceptions to the maximum total height and wall heights of the detached garage to allow for a gable roof.

RECOMMENDATION: As outlined in the analysis and findings in this Staff Report, it is Planning Staff's opinion that the proposed work at 1218 E. 3rd Avenue, including a new addition to the existing contributing structure and replacement of the existing garage in a new configuration in the same location, substantially meets all applicable standards of approval. Staff recommends that the Historic Landmark Commission approve the application for a Certificate of Appropriateness and Special Exception requests with the following condition:

1. Approval of all final design details, including specific direction expressed by the Commission, shall be delegated to Planning Staff.

ATTACHMENTS:

- A. <u>Site & Context Maps</u>
- B. Current Site Photographs
- C. Avenues Historic Survey Information
- **D.** Application Materials and Drawings
- E. Analysis of Standards for SR-1A Zoning District
- F. Analysis of Standards for Special Exception Requests
- G. Analysis of Standards for Major Alterations in a Historic District
- H. <u>Applicable Design Guidelines</u>
- I. Public Process and Comments

EXISTING SITE CONDITIONS:



Figure 2 Block Map



Figure 1 House and Alley

Lot Configuration

The subject property consists of one parcel located at 1218 3rd Avenue, which contains the primary single-family dwelling, a garage with an addition at the southwest corner of the lot, and another small shed east of the garage.

Building permit records indicate that the home was constructed in 1909, and the property description notes that it occupies Lot 4 and the west seven feet of Lot 5 of the Victoria Place subdivision, which comprised all of this block with the exception of the properties fronting Virginia Street. The subdivision also included two 16' alleys, which converge at the lot's southwest corner and abut the west and south property lines. They provide access to garages and rear yard parking for this property, the house to the east at 1224 3rd Avenue, and the homes along U Street and 2nd Avenue.

This block slopes from east to west, and from north to south to a much lesser degree. 3rd Avenue between U and Virginia Streets slopes at approximately a 9% grade, and this lot slopes approximately three feet along its 32 foot front property line.

Primary Building: 1909 Fannie Woodard Rental House

The primary dwelling on the property dates from 1909 and was built for Fannie May Taylor Woodard as a rental property. (See the site form in Attachment C for more). It was probably based on a design from one of the many house pattern books popular at the time it was built. There are many similar examples in the city.

It is a 1-1/2 story Victorian eclectic, with "rectangular block" massing, a main gable roof and large gabled east and west side dormers. The dormers have wood shingle siding and returns. The front gable has carved fascia boards, fish scale pattern wood shingle siding, and a Palladian type triple window.

The full width front porch has wood Figure 3 SL County Tax Photo, c.1936 Tuscan columns and a wood rail and balusters. The front door appears to be original with transom and sidelight. The sandstone foundation is prominent on the west facade of the house because of the slope of the lot.

Windows are a mix of vertical one over one single hung wood sash and rectangular fixed sash. The addition windows have similar proportions but are aluminum sash. Basement windows are original wood awing types and aluminum sliders on the rear addition.

The shed dormers located behind the east and west gables are later attic Figure 4 Front (East) Facade





expansions. The shed dormer doesn't appear on the 1950 Sanborn Map. There is a building permit card from 1955 that includes a "bathroom remodel for dormer," which makes it likely this dormer addition dates from 1955. The 1955 dormers are also clad with wood shingles that vary slightly from those on the original gables.

A wood frame, one story utility porch on the back of the house is shown on Sanborn Maps – it was replaced by an approximately 12' x 24' larger addition in 1963, which is now covered with aluminum siding. The addition also expanded the basement and created a basement entrance on the south side.

Submitted plans show that the home measures approximately 28 feet in height at its ridge.

Accessory Structures

Two accessory structures sit at the rear of the property, with an adjacent concrete parking pad access off of the alley.

The larger structure is a twogarage with a later car addition. The 1950 Sanborn map shows a similarly sized structure east of the current garage, but the design and style is typical of pre-1950 garages. The map may show it in the wrong place. The original gable roof design is apparent. It has concrete foundation walls and wood lap siding. The c.1965 addition to the north side of the garage has cinder block walls and a shallower-pitched roof slope.

There is also a small wood shed just east of the garage, with a shed roof and wood lap siding. It isn't shown on the 1950 map.

Both structures are considered non-contributing. While the garage and smaller shed at the rear of the lot were probably constructed and altered within the period of significance for the Avenues Historic District,



Figure 5 Garage and Addition from southwest corner at alley intersection



Figure 6 Garage, Addition and Shed – garage door faces east.

by precedent, demolition of these sort of small garages and outbuildings are rarely denied. Typically, they would need to be good examples of a rare building type or have clear ties to the significance of the primary building on the property. Staff finds that they do not rise to the level of significance that would preclude their replacement.

SURROUNDING CONTEXT:

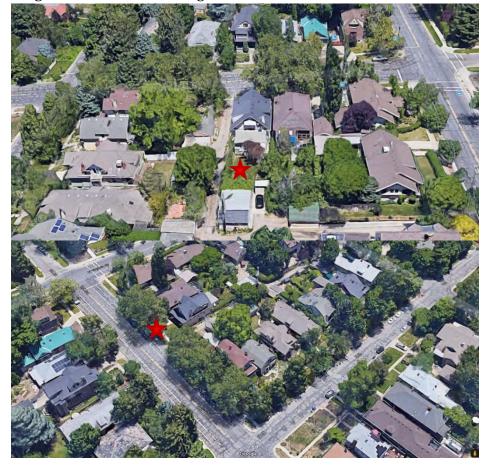
All structures on both sides of the block face along 3rd Avenue between U Street and Virginia Street are considered contributing buildings in the Local Avenues Historic District.



The south side of the block face, where the subject property is located, has only two buildings on the block face: 1218 3rd Avenue property) (subject and 1224 3rd Avenue, a one story, hipped brick roofed bungalow that sits thirteen feet east of the house at 1218 3rd Avenue. Based on the

Aerial view of south side of block face (front of subject property starred)

1911 Sanborn Map and site forms, the two houses both date from 1909, and are the only built lots facing 3rd Avenue in the original Victoria Place subdivision. The sides of two contributing

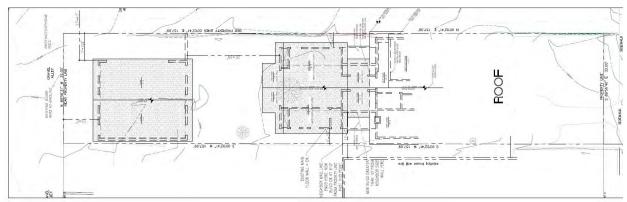


buildings, 136 U Street and 139 Virginia Street are also on this block face.

The north side of the block face (across 3rd Avenue) includes six homes dating from 1902 to 1911. Three of the houses are one story bungalows. Two are foursquares, one of which is an Arts & Crafts style with two stories, and the other is а Victorian **Eclectic** with $2 - \frac{1}{2}$ style stories. The final house is a 1-1/2 story Victorian Eclectic Style house. Brick and wood shingle siding are the predominant exterior materials.

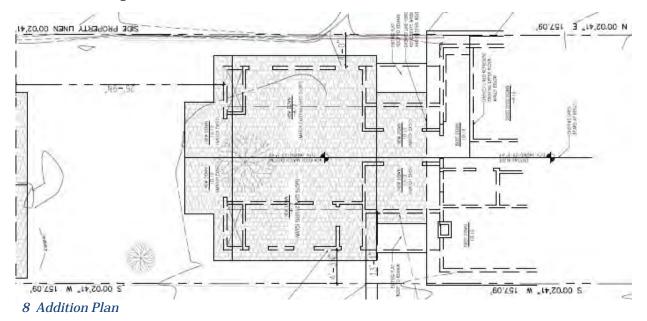
Aerial perspective view from U St. & 3rd Ave. (subject property starred)

PROJECT DESCRIPTION



7: Site Plan with new construction shown in shaded areas

This application can be divided into two sub-projects. One is an addition to rear of the house. The second is demolition of the existing garage, and construction of a new garage on the same site, with a new configuration.



ADDITION:

The applicant is proposing to construct a new addition to the back of the home. Aluminum siding on the c.1965 addition would be removed, and a half story added to the top. The addition footprint would extend back 23 feet further, with living space cantilevered over a main floor deck. The addition would have no basement, and access would be in the same location under the addition above.

Submitted plans indicate that the historic home has a footprint of 1,462 square feet, and the new addition would have a footprint of 462 square feet. In total, the addition would add approximately 1,007 square feet to the overall living area.





The proposed $1-\frac{1}{2}$ story addition would keep the same roof pitch. However, shed dormers on the east and west (side) roof slopes are proposed. These dormers would have a slightly lower pitch that the existing shed dormer on the west roof slope. The proposed dormer width is 15'-10." This requires a special exception from the standards of the SR-1A zone, which typically allows shed dormers to be 10 feet wide.

The addition will require additional special exception approvals from the Historic Landmark Commission for maximum building height and maximum wall height than that generally is allowed in the SR-1A zoning district. These are further detailed in the Key Considerations section below.

Between the historic gable and the dormers (about nine feet) the upper walls will step in 4'-9" from the edge of the existing rear addition, creating a connecting element that visually separates the mass of the addition from the mass of the historic home.



Most of the addition would be clad in wood shingles similar to those in the gables of the historic building, though these would have a consistent square edge instead of the fish scale shape seen on the historic gables.

The applicants propose to remove the aluminum siding from the c.1963 rear addition and cover it with brick veneer, though they have indicated that they are flexible on materials and design details and are open to suggestions from the commission.

Proposed windows are single-hung wood sash windows vertically proportioned to match those on the historic building. The applicants are exploring reusing the existing back door. Other details, such as railings and porch column designs will be designed to be appropriate to the style and design of the historic building. Lower (basement) story windows and doors will be retained.

Staff finds that the materials and general dimensions and proportions of the addition and its elements meet applicable design guidelines (See attachment X for analysis) and recommends that the Commission delegate resolution of final design issues to Planning Staff.

GARAGE:

The other major work in this case is demolishing the existing garage, garage addition and shed, and constructing a new garage in the same location. The garage door would be switched from its current location on the east side of the garage to the west side. That will allow easier access directly from the alley and eliminate a blind corner by shifting the building north.

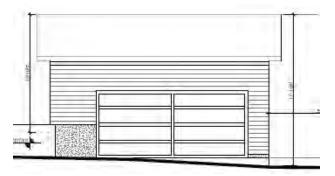
The applicants propose using horizontal fiber cement siding on the building with a smooth finish. The gables on the building would be changed from the east and west walls to the north and south walls. Asphalt shingles to match those selected for the main roof would also be used here.

Windows are proposed for the north and south sides of the garage. Garage access from the back yard will be through a door on the north wall. Currently, people using the garage have to exit on the east side and walk up a flight of exterior stairs to reach the raised backyard. The stairs would be moved to the interior of the building for safety.

The site of the garage slopes from east to west and from north to south. In addition, the finish grade of the backyard is three feet higher than the alley. The design meets the height requirements on two sides, but special exceptions for total height and wall height are required.



12 Garage North Elevation



11 Garage West Elevation

KEY CONSIDERATIONS:

Addition and Garage Design Details

Overall, Staff finds that the proposed addition and new garage meet the standards contained in 21A.34.020.G of the zoning ordinance and associated design guidelines. The analysis in Attachment X provides full details. There are a few items that may require additional discussion and refinement prior to construction – Staff proposes that the Commission delegate to Staff the authority to review and approve those items, as well as any others that the Commission adds as part of its review. That will also allow Staff to work with the applicants further to ensure that the addition is differentiated from the historic building through variation in such aspects as design and materials.

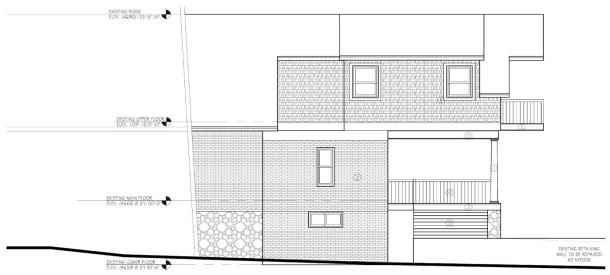
Alterations and Garage Within the Period of Significance for the Historic District

Some alterations to the building occurred during the period of significance for the Avenues Historic District. An example is the c.1963 construction of an expanded rear utility porch. Staff finds that these alterations are not character-defining architectural features, nor are they associated with any individual or event that might make them significant in their own right. Thus, their removal as part of this proposal would be appropriate.

Likewise, the garage and smaller shed at the rear of the lot were probably constructed and altered within the period of significance for the Avenues Historic District. By precedent, proposed demolitions of these sort of small garages and outbuildings are rarely denied. Typically, they would need to be good examples of a rare building type or have clear ties to the significance of the primary building on the property. Staff finds that they do not rise to the level of significance that would preclude their replacement.

Special Exceptions for Addition: Building Height and Dormer Width

As mentioned above, the applicant is requesting a Special Exception for additional building height for the new addition, which includes <u>overall</u> building height, as well as building <u>wall</u> heights.



13 Addition - West Elevation

The SR-1A zoning district limits overall building height to 23 feet for pitched roof forms, and 16 feet for flat roof forms. The proposed addition has a pitched roof with a peak that matches the peak of the existing house – approximately 28 feet. The HLC may grant a special exception to allow the additional overall building height.

Second, the maximum permitted exterior building wall height is 16 feet, On sloped sites such as this one, the code allows an additional six inches on the downhill exterior wall height for each one foot difference between the average grades. In this case, the lot slopes three feet from east to west, which allows an exterior building wall height of 17.5 feet on the downhill (west) face of the building. The East (uphill) wall height is approximately 17'-7". The West (downhill) wall height is approximately 21'-7". The HLC may grant a special exception to allow the additional building wall height.

Dormers are not included in the building wall height if the total combined width of dormers is 50% or less of the length of the building facade; dormers are spaced 18 inches apart, and each dormer is ten feet or less. The proposed east and west dormers are 15'-10" wide. The HLC may grant a special exception to allow the additional dormer width.

Staff finds the requested height exceptions appropriate for multiple reasons:

While the proposed heights exceed the permitted heights for new construction within the SR-1A zone, the existing historic structure has an overall building height of approximately 28 feet. The applicants chose to match the height and pitch of the existing gable roof and extend the established massing and orientation of the existing building. The proposed addition is entirely set back behind the historic structure. Its scale and character are compatible with the size and scale of the original structure.

The established massing and orientation of the original building is continued on the addition. The existing cross gable and shed dormer provide variation in the roofline and massing on the original side walls. The massing and rooflines of the addition continue this pattern, with a shed dormer providing similar variation before the roof returns to its original height and pitch at the back of the addition.

A connecting element differentiates the addition from the original structure. This element is not as visually clear in this case as the HLC may typically see with other additions. However, the existing rear addition may remain in place, which allows reuse of the walls and foundation instead of their demolition.

This approach also supports a Special Exception for maximum wall height. The existing building already exceeds the maximum wall height on the sides of the building. Keeping the existing roof height and pitch creates a wall height that will also exceed the maximum wall height, but the overall design meets the standards of the ordinance. As noted, the applicants are keeping the existing rear addition walls and foundation. The special exception allows the floor levels to remain consistent between the historic building and the addition, as well as the level backyard grade.

Conventional Interior Dimensions drove the width of the dormer. It is a bed wall that can accommodate two nightstands. Including the width of the exterior walls, that creates a dormer that is 15'-10," exceeding the maximum width of ten feet. In this case Staff finds that is an acceptable special exception. The dormer is separated from the other dormer on the west side of the house by approximately 14 feet, much more than the required 18 inches between dormers.

The total building length, with the proposed addition, is 74'-8". Under the ordinance, 50% of that length (37'-4") may have dormers. The existing dormers are approximately sixteen feet wide on the west side, and ten feet on the east side, so the total length of dormers on the building is close to 37 feet on the west side, and about 26 feet on the east side. All of the new dormer is set toward the back of the addition.

Special Exception for Additional Height for an Accessory Structure

The second Special Exception is a request for relief from the maximum overall height of 14 feet and maximum wall height of 9 feet from existing grade for the accessory structure. The existing difference in grade between the alley and back yard, combined with the compound slope of this site (three feet north to south and four feet east to west) make this a difficult design. Moving the steps from the garage floor level to the backyard level from the exterior to the interior provides a significant safety increase. With allowed adjustments for the grade changes and slope, the garage meets the maximum height on two sides but exceeds the maximum by 5 to 7 inches on two sides. This is a minimal variation from the ordinance.

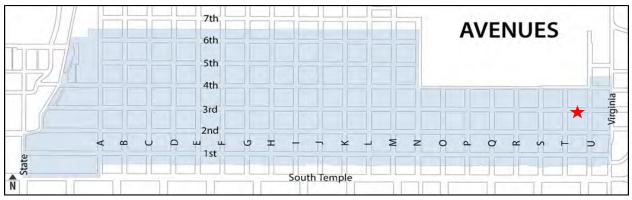
Putting an average height door on the north façade at the level of the backyard requires an increase in the maximum wall height on the south and east sides of the building. The special exception will allow a simple gable roof typical of accessory buildings in the surrounding neighborhood.

NEXT STEPS:

If the requests for a CoA for Major Alterations and associated Special Exceptions are granted by the HLC, Planning Staff will work with the applicants to review final details and issue a CoA. From there, the applicant may proceed with the project as represented in this Staff Report, and will be required to obtain all necessary approvals and permits for the proposed addition.

If the Commission disagrees with Staff's recommendation and the project is denied, the applicant would not be issued a CoA for the request and any new proposal would require submittal of a new application.

ATTACHMENT A: SITE & CONTEXT MAPS



Avenues Historic District - Subject Property Starred

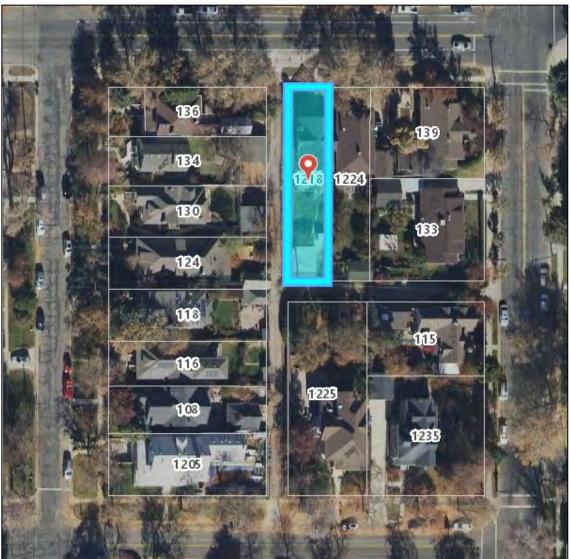


Figure 14 Block Plan and Site Context

ATTACHMENT B: CURRENT SITE PHOTOGRAPHS





































ATTACHMENT C: AVENUES HISTORIC SURVEY INFO.

Researcher: Henry Whiteside Date:

Utah State Historical Society Historic Preservation Research Office Structure/Site Information Form

1 NO	Street Address: 1218 3rd Avenue				Plat Bl. Lot		
	Name of Structure:				T. F	R .	S.
					UTM:		
	Present Owner: Frank H. and Dorothy T. Jonas Owner Address:				Tax #: 5-1753		
AGE/CONDITION/USE	Original Owner: Fannie May Taylor Woodward Construction Date: 1909				Demolition Date:		
	Original Use: single	13.00 1.001					
	Present Use: Single-Family Multi-Family Public Commercial	 Park Industrial Agricultural 	VacantReligiousOther		Occupants:		
	Building Condition:	□ Site □ Ruïns	Integrity: Unaltered Minor Alterations Major Alterations				
STATUS C	Preliminary Evaluation: Significant Contributory Not Contributory Intrusion			Final Register S National Landmark National Register State Register 		ce	
DOCUMENTATION	Photography: Date of Slides: 5/77 Views: Front 2 Side 🗆 Rear	Other		f Photographs: Front □ Side □ Rear □	□ Other □		
	Research Sources:						
	 Abstract of Title Plat Records Plat Map Tax Card & Photo Building Permit Sewer Permit Sanborn Maps 	 City Directories Biographical Encyclopedias Obituary Index County & City Histories Personal Interviews Newspapers Utah State Historical Society Library 		 LDS Church Archives LDS Genealogical Society U of U Library BYU Library USU Library SLC Library Other 			

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):

Polk, Salt Lake City Directory, 1909-1941.
Salt Lake County Records, Plat Map, Abstract Books.
"Stephens," Salt Lake Tribune, May 30, 1955, p. 1; June 1, 1955, p. 4; June 2, 1955, p. 5; June 3, 1955, p. 85.
"Stephens," Deseret News, May 30, 1955, p. Al; June 2, 19-5, p. L6.
Salt Lake City Building Permit, #1860, July 19, 1909.

Building Materials: brick

Architect/Builder: W.J. Cannonville/W.M. Kromer

Building Type/Style: Victorian eclectic

Description of physical appearance & significant architectural features: (Include additions, alterations, ancillary structures, and landscaping if applicable)

This is a one and a half story Victorian home with a main gable roof and large gabled east and west side dormers. The dormers have wood shingle siding and returns. The front gable has carved fascia boards, fishscale pattern wood shingle siding, and a Palladian type triple window. The wide front porch has doric columns and wooden balusters. Side windows on the house have brick arched tops. There is a stone foundation.

-- Thomas W. Hanchett



Statement of Historical Significance:

Aboriginal Americans
 Agriculture
 Architecture

The Arts
 Commerce

HISTORY

- Communication
 Conservation
- □ Education
- Exploration/Settlement
 Industry
- Military
 Mining
 Minority Groups
 Political
 Recreation
- Religion
 Science
- □ Socio-Humanitarian
- □ Transportation

This one and a half story, brick, Victorian home contributes to the architectural character of the Avenues.

It was built in 1909 for Fannie May Taylor Woodard. She and her husband, James E., a patrolman with the Salt Lake City Police Department, lived at 1211 1st Avenue and maintained this home as rental. She held the house to rent until 1920 when Harold M. and Virginia Adelle Stephens bought and occupied it. Stephens was a lawyer with Cheney, Jensen, Martineau and Stephens.

Although born in Crete, Nebraska, in 1886, Stephens was raised and educated in Utah, which he considered his home. After having graduated from Harvard Law School, he returned to Salt Lake to practice. He was named a judge in the Third Judicial District Court in 1917 at the age of 31. He directed the anti-trust division of the justice department in Washington, was named judge and in 1948, chief judge in the Court of Appeals. He was active in Democratic politics, but only once, and unsuccessfully, a candidate. He was a Roman Catholic.

Prop	perty Type: 112	Utah State Historical Society	Site	e No.
		Historic Preservation Research Office		BATCH KEY
		Structure/Site Information Form		1805052810
1	Street Address: 0121	8 THIRD AV	UTM:	14930 14930
ATION	Name of Structure:		T. 01 . 0	N R. 01.0 E S. 33
IDENTIFICATION		AS*FRANK*H* & DOROTHY T 8 3RD AVE		
IDE	C	• UTAH 84103	12.00	
	Year Built (Tax Record Legal Description	i): 1919 Effective Age: 1928 01 Kind of Building: RESIDENCE	Tax #:	05 1753
₩ 7	FT OF LOT 4 & AL	L LOT 5 VICTORIA PLACE		

2	Original Owner: Original Use:			Construction Date: Present Use:		Demolition Date:		
STATUS/USE								
	Building Condition:		Integrity:	Preliminary Evaluation:		Final Register Status:		
	Excellent	Site	Unaltered	□ Significant	D Not of the	D National Landmark	District	
	Good	Ruins	Minor Alterations	Contributory	Historic Period	National Register	D Multi-Resource	
	Deteriorated		Major Alterations	Not Contributory		State Register	Thematic	
DOCUMENTATION S	Photography: Date of Slides:		Slide No.:	Date of Photographs:		Photo No.:		
	Views: Front Side Rear Other		Views: 🗆 Front 🗆 Side 🗆 Rear 🗆 Other					
	Research Sour	ces:						
	Abstract of Title	🗆 Sar	nborn Maps	Newspapers		U of U Library		
	D Plat Records/Ma	p 🗆 Cit	y Directories	Utah State Histo	orical Society	BYU Library		
	Tax Card & Photo	Bio	graphical Encyclopedias	Personal Intervi	ews	USU Library		
00	Building Permit	🗆 Ob	iturary Index	LDS Church Arc	chives	SLC Library		
0	Sewer Permit	🗆 Co	unty & City Histories	LDS Genealogie	cal Society	Other		

Bibliographical References (books, articles, records, interviews, old photographs and maps, etc.):

Street Address:	Site No:		
Architect/Builder:			
Building Materials:			
Building Type/Style:	41°		

Description of physical appearance & significant architectural features: (Include additions, alterations, ancillary structures, and landscaping if applicable)

Statement of Historical Significance:

Construction Date:

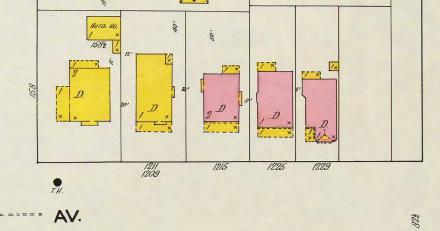
B.M.I. 104 5M 1-55

Address / 2/8- 3- ave. Date 12-5 1955

Owner Frank Jouras

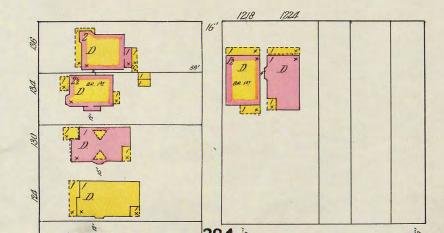
Building Permit No. 6624 - model for dorma 30683-5-6-60 - Study nov 7276-1-16-59 Electrical Permit No. 6793-1-20-56 Plumbing Permit No. 6752-8-12-57 15642-8-12-57-Building Permit No. 46571-4-19-63-redu porch Electrical Permit No. 48533-4-22-65 Plumbing Permit No. 47976-7-7-65 593-7-7-65 Building Permit No. Electrical Permit No. Plumbing Permit No.

Electrical Permit No. Electrical Permit No.



11

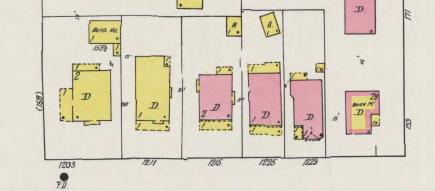
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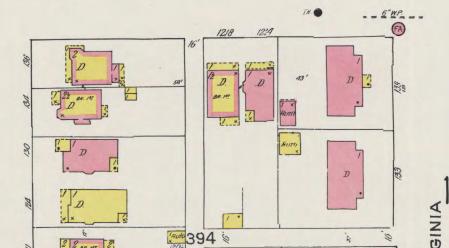


- AV.

ST.

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ATTACHMENT D: APPLICATION MATERIALS

PROVOST ADDITION 1218 EAST 3RD AVENUE, S.L.C., UTAH



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INCLUDES BUT IS NOT LIMITED TO THE OVERALL FORM AS WELL AS THE ARRANGEMENT AND COMPOSITION OF SPACES. UNDER SUCH PROTECTION, UNAUTHORIZED USE OF THESE PLANS, WORK, OR STRUCTURE REPRESENTED WILL RESULT IN THE CESSATION OF CONSTRUCTION AND/OR MONETARY

	PROJ t 2011	•
PROJECT INFORMATION	JULY 30, 2020	
PROJECT #: 2011 PROJECT DATE OF ISSUE: JJULY 30,2020 REVISED DATE OF ISSUE: CONTRACTORS, SUBCONTRACTORS, AND OTHERS WHO PROVIDE LABOR AND/OR MATERIALS REFERENCING THESE DRAWINGS ARE RESPONSIBLE FOR OBTAINING AND REVIEWING ALL CURRENT CONSTRUCTION DOCUMENTS. CONTRACTORS, SUBCONTRACTORS, AND OTHERS ARE TO REPORT ANY DISCREPANCIES OR ERRORS TO ARCHITECT IMMEDIATELY. ANY CHANGES TO THE PROJECT WILL BE VERIFIED WITH THE OWNER BY THE	DATE: REVISION:	
CHANGES TO THE PROJECT WILL BE VERIFIED WITH THE OWNER BY THE ARCHITECT AND REVISIONS WILL BE ISSUED BY ARCHITECT. CONTRACTORS ARE NOT TO MAKE ALTERATIONS OF ANY KIND WITHOUT THE PRIOR WRITTEN CONSENT OF ARCHITECT. DISCREPANCIES NOT REPORTED PRIOR TO CONSTRUCTION ARE RESPONSIBILITY OF CONTRACTOR. CONTRACTORS SHALL NOT SCALE FROM DRAWINGS. DIMENSIONS ARE PROVIDED TO ALLOW FOR ACCURATE CONSTRUCTION OF BUILDING. QUESTIONS ARISING FROM DIMENSIONS SHOULD BE RESOLVED BY CONTACTING ARCHITECT AND/OR STRUCTURAL ENGINEER. OWNER: - PHONE - CELL - ARCHITECT: JEFF SCHINDEWOLF, JSARC	ON ON	S.L.C., UTAH
PHONE (801) 809-5295 EMAIL JEFF@JSARC.NET STRUCTURAL ENGINEER: - PHONE - EMAIL - CONTRACTOR: - PHONE - EMAIL - CODE SUMMARY APPLICABLE CODE: 2018 INTERNATIONAL RESIDENTIAL CODE. (I.R.C.)	PROVC	1218 EAST 3RD AVE. S.L.C.,
2018 INTERNATIONAL BUIDING CODE (I.B.C.) 2018 INTERNATIONAL PLUMBING CODE (I.P.C) 2018 INTERNATIONAL FIRE CODE (I.F.G.C.) 2018 INTERNATIONAL MECHANICAL CODE (I.M.C.) 2017 NATIONAL ELECTRIC CODE (N.E.C.) 2018 INTERNATIONAL ENERGY CONSERVATION CODE (I.E.C.C.) UTAH STATE ADOPTED CODE: JANUARY 1, 2020 BUILDING AND LOT AREAS LOT AREA WITH ALLOWED ALLEY INCREASE = 6623 S.F. EXISTING HOME AREA FOOTPRINT = 1622 S.F. EXISTING DETACHED GARAGE AREA + SECONDARY = 550 S.F. EXISTING BUILDING FOOTPRINT AREA = 2212 S.F.	TITLE SHEET	-
ALLOWABLE FOOTPRINT AREA = 6623 X .4 = 2649 S.F.NEW HOME FOOTPRINT AREANEW DETACHED GARAGE AREA + SECONDARY= 600 S.FNEW TOTAL FOOTPRINT AREA= 2534 S.F. < 2649 = PASS	- T1.1	
PROPERTY INFORMATION		
SEE STRUCTURAL CALCULATIONS FOR STRUCTURAL DESIGN CRITERIA. OCCUPANCY: RESIDENTIAL PROJECT LOCATION: ADDRESS: 1218 3RD AVENUE SALT LAKE CITY, UTAH PARCEL ID: 09-33-351-001 ZONE: SR-1A WITH NEIGHBORHOOD H OVERLAY DEFFERED SUBMITTALS , AND CHANGES MUST BE APPROVED BY ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO SUBMITTING TO THE BUILDING OFFICIAL. 1. PROVIDE GAS PIPING SCHEMATIC AND CALCULATIONS PER IRC G2413 2. TRUSS PLANS (IF APPLICABLE)	LEFF@JSARC.NET	801.809.5295 11088 Manitou Way 5.j.C., Utah 84009

DRAWING INDEX

CI.I ARCHITECTURAL SITE AND GRADING PLANS 1/8" = 1'-0"

AI.I EXISTING DETACHED GARAGE FLOOR AND ROOF PLAN A I . 2 NEW DETACHED GARAGE MAIN FLOOR PLANS

A2.1 EXISTING AND NEW REAR EXTERIOR ELEVATIONS

A2.3 EXISTING AND NEW NEW SIDE EXTERIOR ELEVATIONS











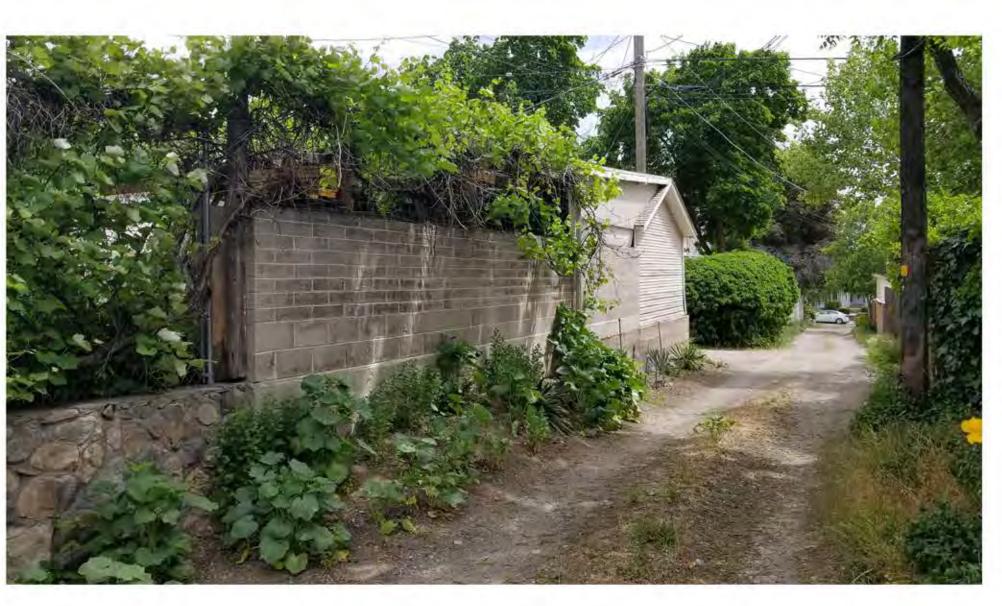




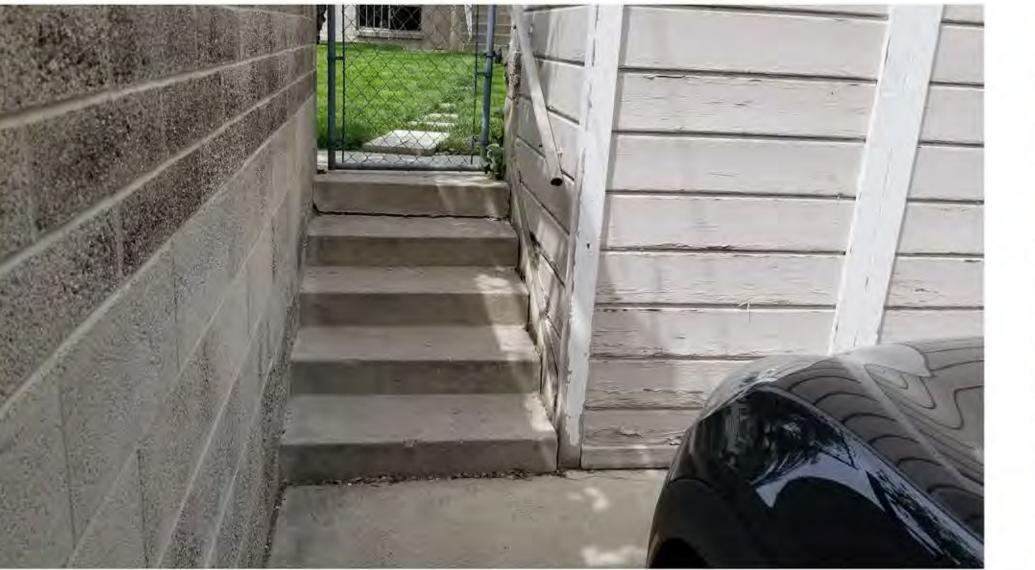
C COPYRIGHT 2017 JSARC PLLC - THE PURCHASER IS GRANTED A SINGLE USE LICENSE FOR CONSTRUCTION AND/OR MONETARY COMPENSATION TO JSARC PLLC



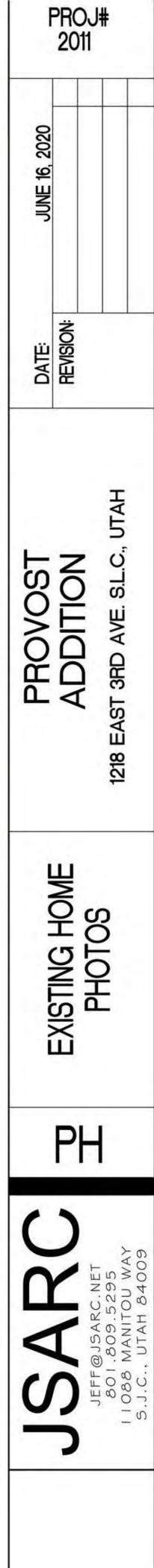




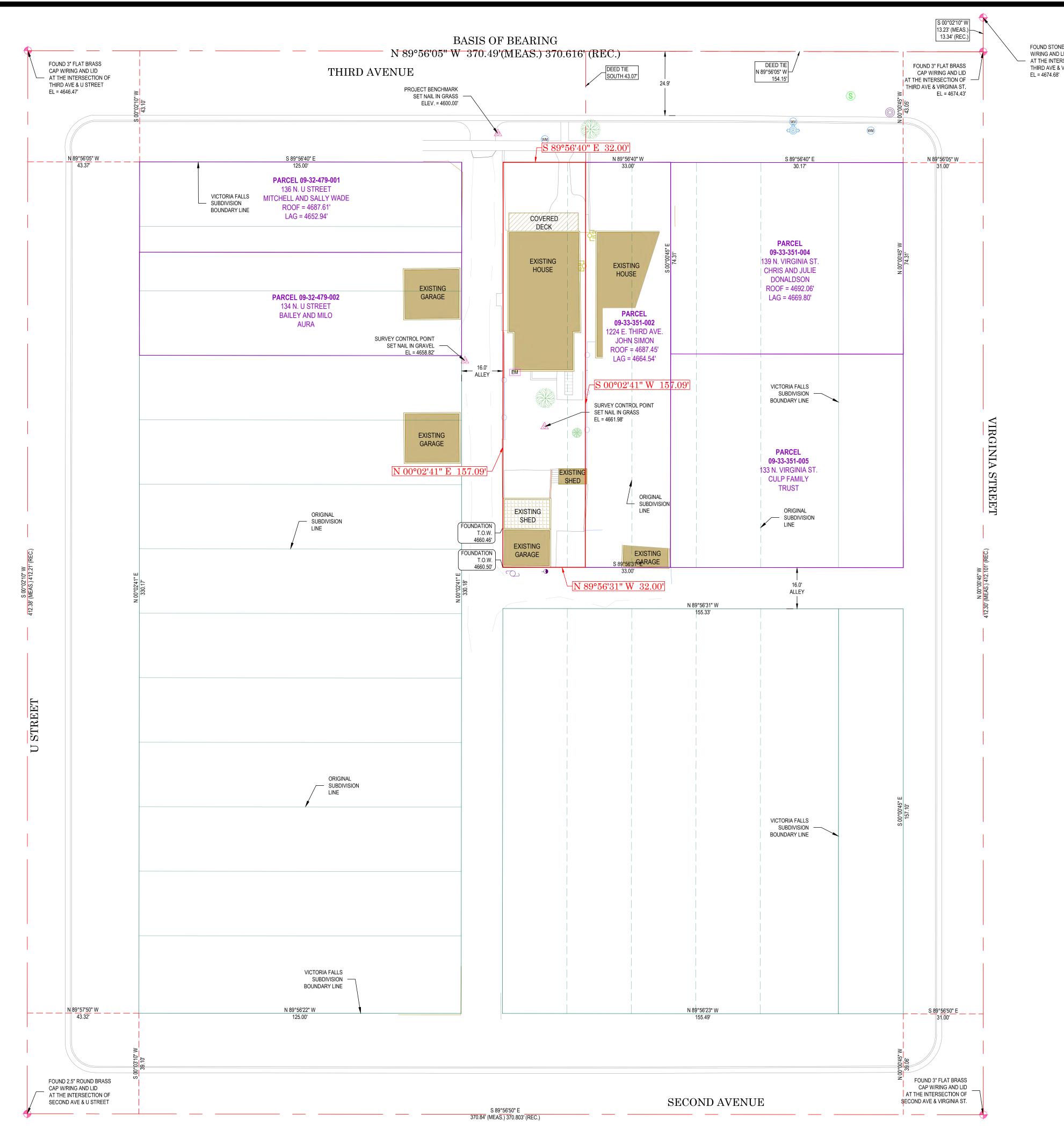


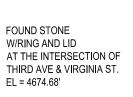


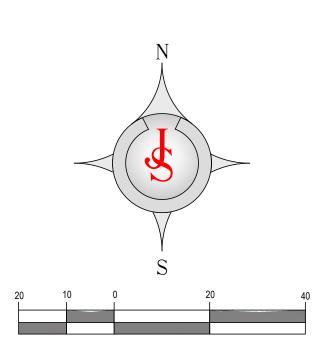




C COPYRIGHT 2017 JSARC PLLC - THE PURCHASER IS GRANTED A SINGLE USE LICENSE FOR CONSTRUCTION ONLY. THESE PLANS, WORK, OR STRUCTURE REPRESENTED WILL RESULT IN THE CESSATION OF CONSTRUCTION AND/OR MONETARY COMPENSATION TO JSARC PLLC







(IN FEET) 1 inch = 20 ft.

LEGEND

- ← = SECTIONAL CORNER
- = STREET MONUMENT
- = FOUND PROPERTY MARKER
- \bigoplus = SET REBAR AND CAP
- **——** = REPRESENTS PROPERTY LINE
- = SURVEY CONTROL POINT
- = EXISTING FIRE HYDRANT
- (MH) = EXISTING WATER MANHOLE
- w = EXISTING WATER METER
- (w) = EXISTING WATER VALVE
- (S) = EXISTING SEWER MANHOLE
- \mathbf{GM} = EXISTING GAS METER
- -O---O- = CHAINLINK/WIRE FENCE
- -___ = WOOD/VINYL FENCE

= EXISTING TREE

DRAWING TITLE RECORD OF SURVEY TOPOGRAPHIC

CLIENT CONTACT

JEFF SCHINDEWOLF jeff@jsarc.net

801-809-5295

1218 E. THIRD AVE. LOCATED WITHIN, SALT LAKE COUNTY, UTAH. A PART OF THE S.W. 1/4 SEC. 33, T. 1 N., R. 1. E. S.L.B.&M.

PROPERTY DESCRIPTION

All of lot 5 and the West 7 feet of lot 4, VICTORIA PLACE, a subdivision of Block 17, Plat "G", Salt Lake City Survey on file within the official records of Salt Lake County, Utah. Containing 0.12 +/- Acres

SURVEYOR'S NARRATIVE

This Survey was performed at the request of Jeff Schindewolf for the purpose to locate contours and elevations of the ground in relationship to the intended positioning of this lot. Also for the possible purpose of lot sales, future building and landscaping. The basis of bearing was derived from the found monumentation along Third Avenue, and utilized on this survey as N 89°56'05" W as shown on the Victoria Place Subdivision, of Block 17

Plat "G". Shown are One foot Contours Highlighted at Five foot Intervals as labeled. Found monumentation have been tied, utilized and shown on this survey. The elevation base is determined by the field G.P.S. Projection Based on Utah North NAD 1983 Projection then rounded off to the nearest 10 foot mark for a more efficient Bench Mark base. The project bench mark is 4600.00' = Set nail in grass along the frontage of surveyed parcel as shown hereon.

NOTE:

. Surveyor has made no investigation or independent search for easements of record encumbrances restrictive covenants ownership title evidence, or any other facts, conflicts, or discrepancies which may be disclosed by the details of a currant title insurance policy.

2. See city and county planning, and zoning maps for information regarding setback, side yard, and rear yard instances as well as other building, use restrictions, and requirements.

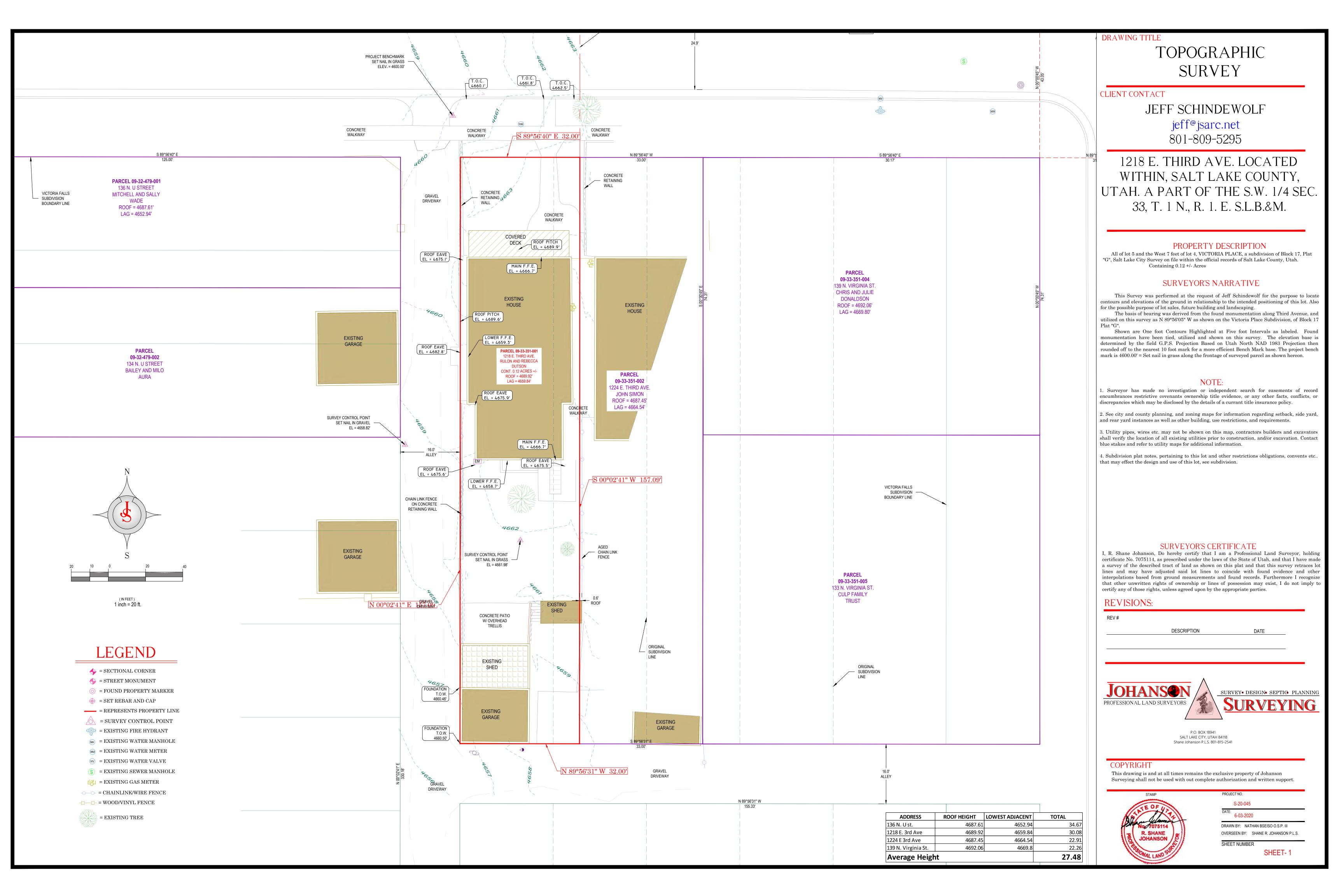
3. Utility pipes, wires etc. may not be shown on this map, contractors builders and excavators shall verify the location of all existing utilities prior to construction, and/or excavation. Contact blue stakes and refer to utility maps for additional information.

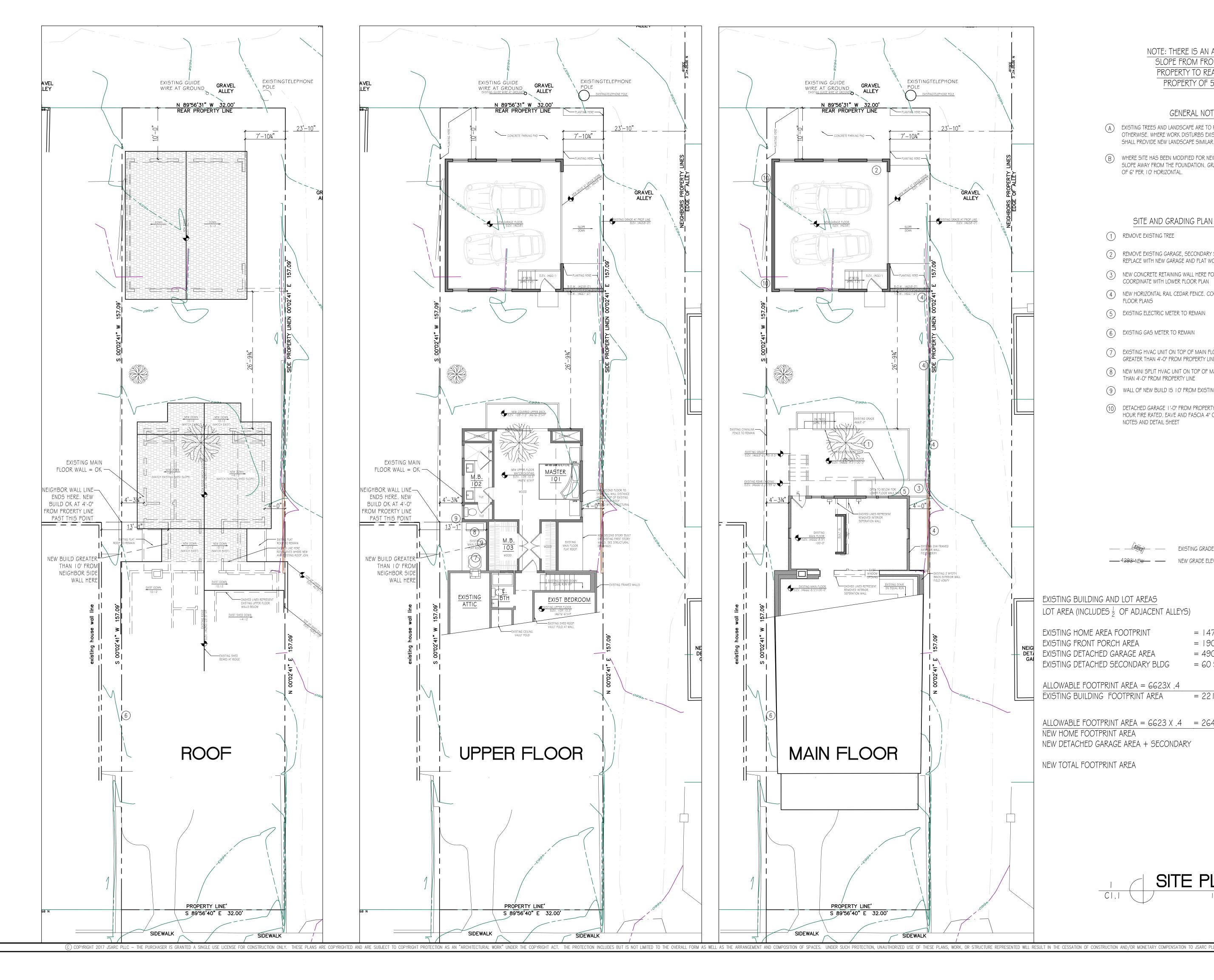
4. Subdivision plat notes, pertaining to this lot and other restrictions obligations, convents etc.. that may effect the design and use of this lot, see subdivision.

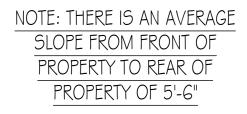
SURVEYOR'S CERTIFICATE

I, R. Shane Johanson, Do hereby certify that I am a Professional Land Surveyor, holding certificate No. 7075114, as prescribed under the laws of the State of Utah, and that I have made a survey of the described tract of land as shown on this plat and that this survey retraces lot lines and may have adjusted said lot lines to coincide with found evidence and other interpolations based from ground measurements and found records. Furthermore I recognize that other unwritten rights of ownership or lines of possession may exist, I do not imply to certify any of those rights, unless agreed upon by the appropriate parties.

REV #		
	DESCRIPTION	DATE
JOHAN ROFESSIONAL LAND	SON SURVEYORS	survey• design• septio plannin Surveying
	P.O. BOX 18941 SALT LAKE CITY, UTAH 8 Shane Johanson P.L.S. 801-8	
	SALT LAKE CITY, UTAH & Shane Johanson P.L.S. 801-8 at all times remains the exc	15-2541
This drawing is and	SALT LAKE CITY, UTAH & Shane Johanson P.L.S. 801-8 at all times remains the exc	15-2541 lusive property of Johanson athorization and written support. PROJECT NO.
This drawing is and Surveying shall not	SALT LAKE CITY, UTAH & Shane Johanson P.L.S. 801-8 at all times remains the exc	15-2541 lusive property of Johanson athorization and written support. PROJECT NO. S-20-045 DATE:
This drawing is and Surveying shall not	SALT LAKE CITY, UTAH & Shane Johanson P.L.S. 801-8 at all times remains the exc	Is-2541 Iusive property of Johanson athorization and written support. PROJECT NO. S-20-045 DATE: 6-03-2020
This drawing is and Surveying shall not	SALT LAKE CITY, UTAH & Shane Johanson P.L.S. 801-8 at all times remains the exc be used with out complete an	15-2541 lusive property of Johanson athorization and written support. PROJECT NO. S-20-045 DATE:
This drawing is and Surveying shall not D STAMP	SALT LAKE CITY, UTAH & Shane Johanson P.L.S. 801-8 at all times remains the exc be used with out complete at	Is-2541 Iusive property of Johanson athorization and written support. PROJECT NO. S-20-045 DATE: 6-03-2020 DRAWN BY: NATHAN BSEISO O.S.P. III







PROJ#

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PROVOST ADDITION

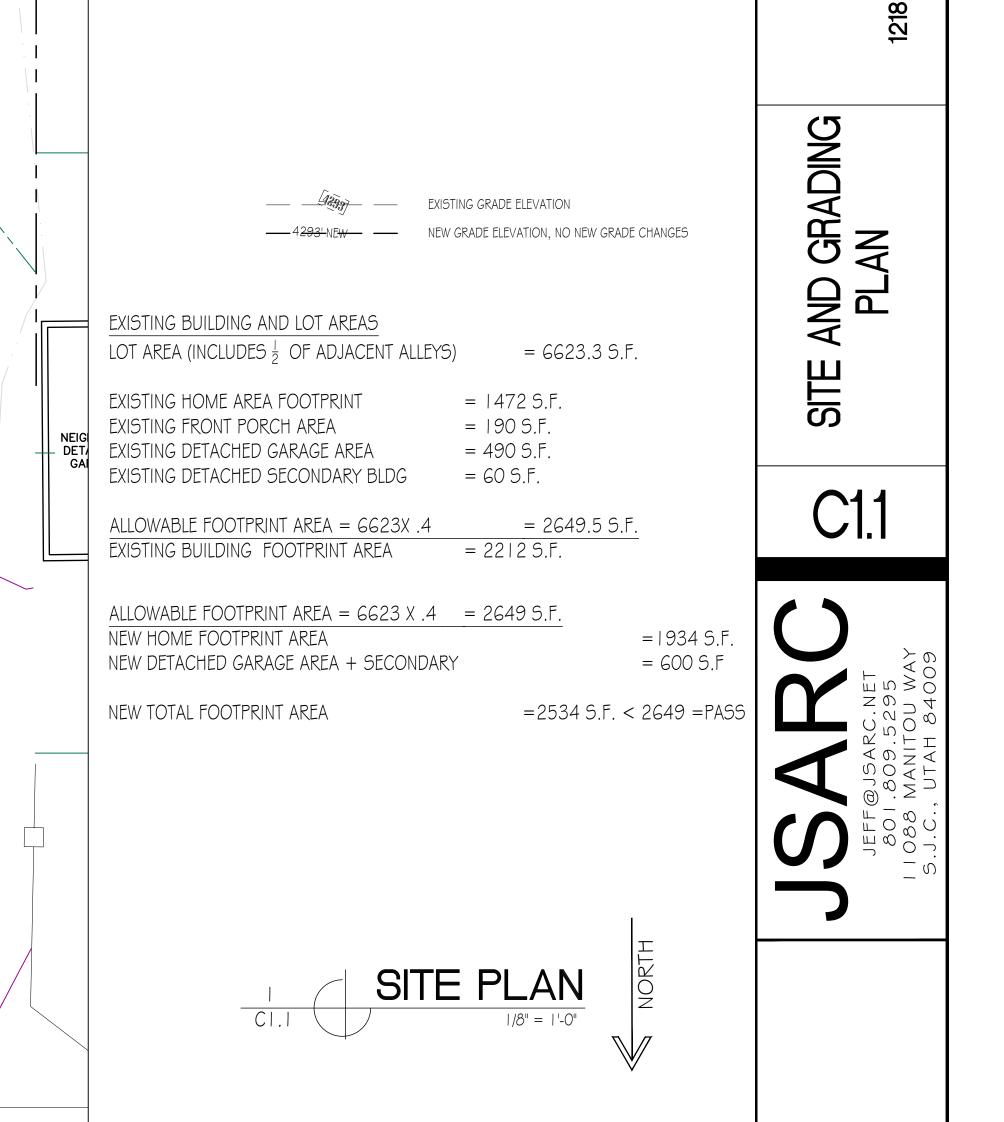
DATE

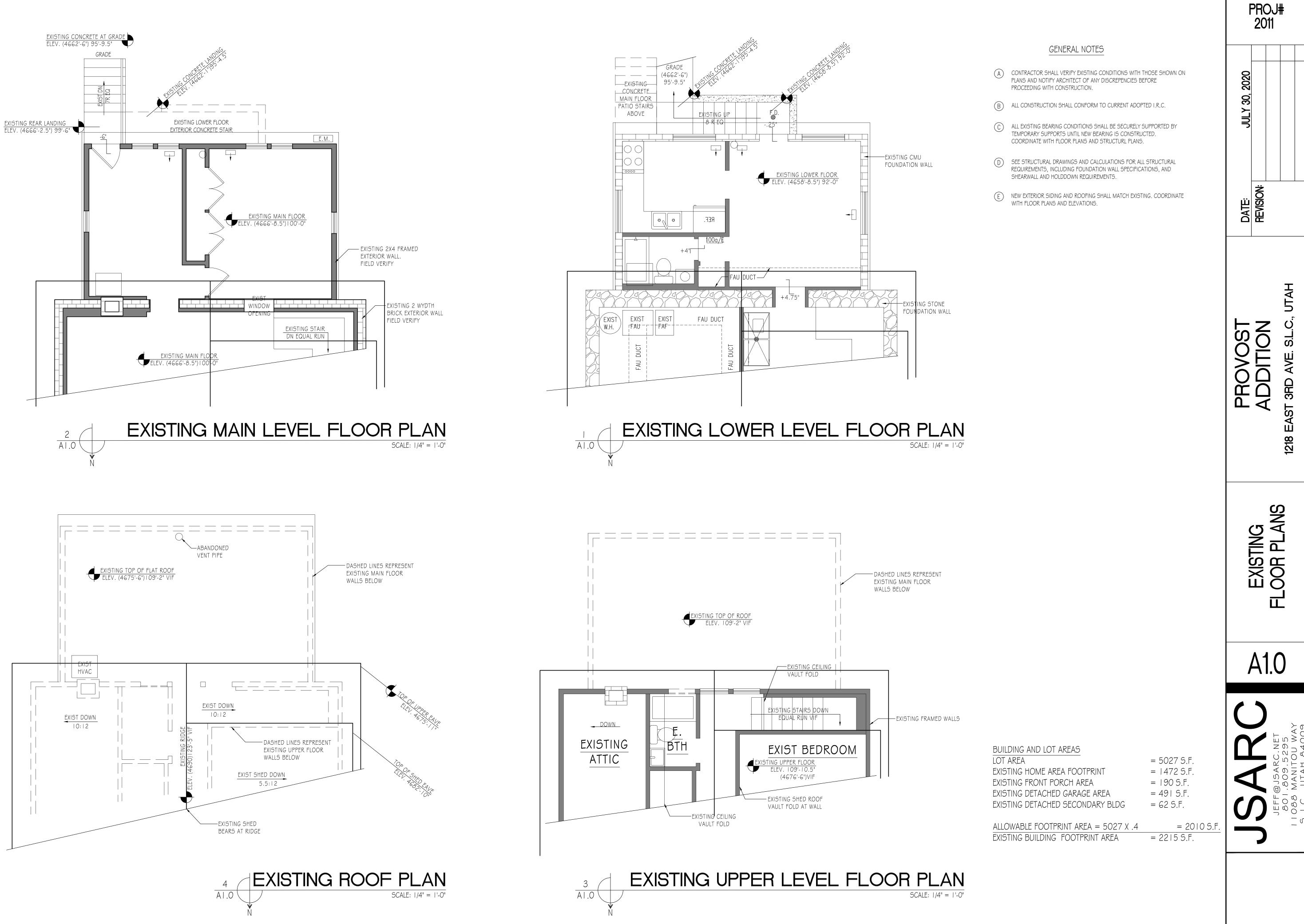
GENERAL NOTES

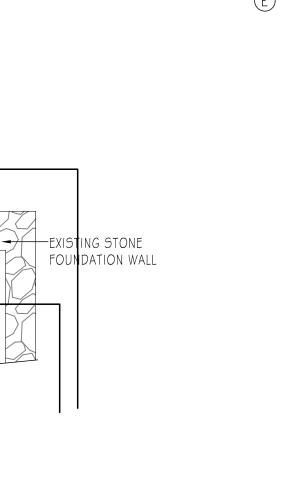
- (A) EXISTING TREES AND LANDSCAPE ARE TO REMAIN, UNLESS NOTED OTHERWISE. WHERE WORK DISTURBS EXISTING LANDSCAPE, CONTRACTOR SHALL PROVIDE NEW LANDSCAPE SIMILAR TO EXISTING.
- B WHERE SITE HAS BEEN MODIFIED FOR NEW ADDITION THE GRADE SHALL SLOPE AWAY FROM THE FOUNDATION. GRADE SHALL FALL FOR A MINIMUM OF 6" PER 10' HORIZONTAL.

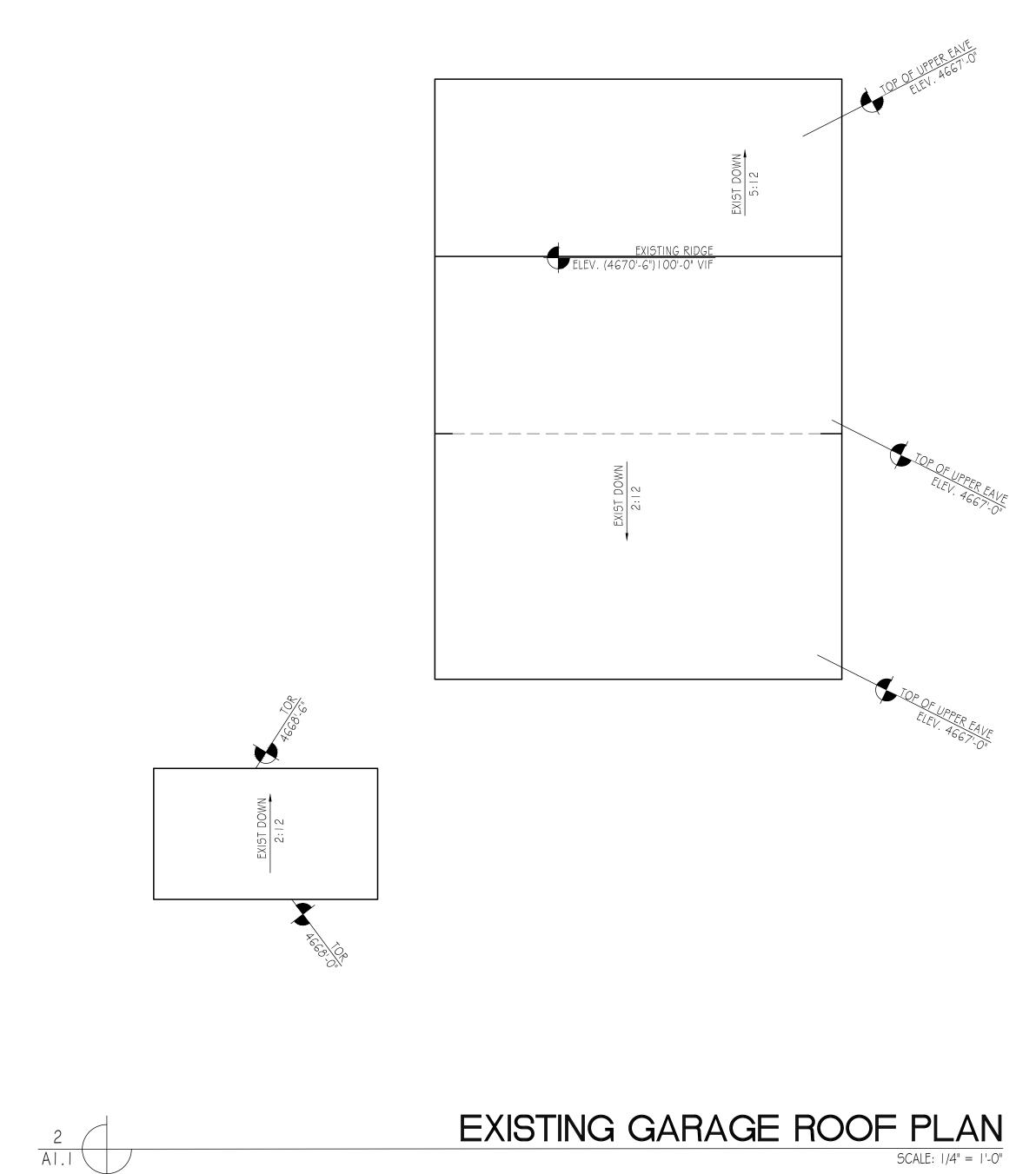
SITE AND GRADING PLAN KEYED NOTES

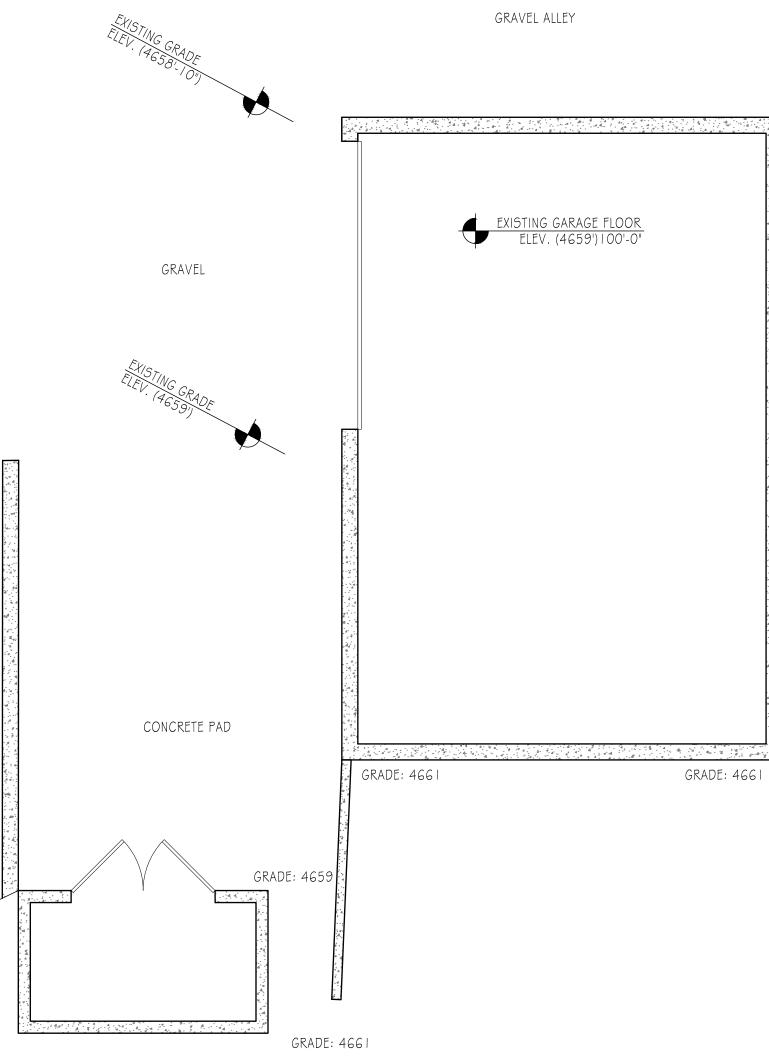
- (1) REMOVE EXISTING TREE
- 2 REMOVE EXISTING GARAGE, SECONDARY STORAGE, AND FLATWORK AND REPLACE WITH NEW GARAGE AND FLAT WORK SHOWN HERE
- (3) NEW CONCRETE RETAINING WALL HERE FOR LOWER FLOOR ACCESS COORDINATE WITH LOWER FLOOR PLAN
- (4) NEW HORIZONTAL RAIL CEDAR FENCE. COORDINATE WITH MAIN AND LOWER FLOOR PLANS
- 5 EXISTING ELECTRIC METER TO REMAIN
- (6) EXISTING GAS METER TO REMAIN
- EXISTING HVAC UNIT ON TOP OF MAIN FLOOR ROOF TO REMAIN. IT IS GREATER THAN 4'-0" FROM PROPERTY LINE
- 8 NEW MINI SPLIT HVAC UNIT ON TOP OF MAIN FLOOR ROOF. IT IS GREATER THAN 4'-0" FROM PROPERTY LINE
- (9) WALL OF NEW BUILD IS I O' FROM EXISTING NEIGHBOR HOUSE
- 10 DETACHED GARAGE I'-O" FROM PROPERTY LINE HERE. WALL SHALL BE I HOUR FIRE RATED. EAVE AND FASCIA 4" OVERHANG MAX. SEE MAIN FLOOR NOTES AND DETAIL SHEET







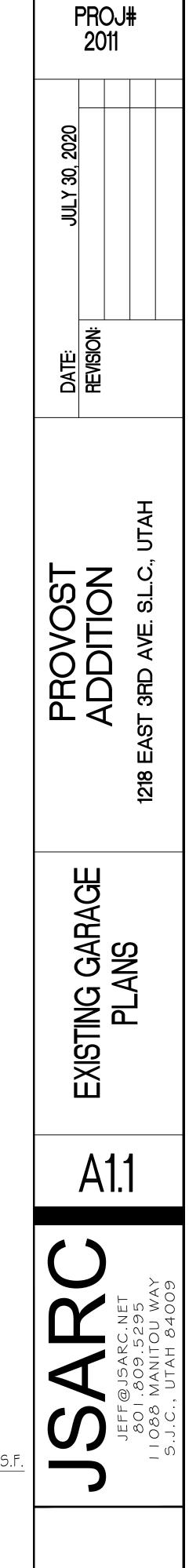




EXISTING GARAGE AND SECONDARY FLOOR PLAN AI.I

GENERAL NOTES

- A CONTRACTOR SHALL VERIFY EXISTING CONDITIONS WITH THOSE SHOWN ON PLANS AND NOTIFY ARCHITECT OF ANY DISCREPENCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- (B) ALL CONSTRUCTION SHALL CONFORM TO CURRENT ADOPTED I.R.C.
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- D SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS, INCLUDING FOUNDATION WALL SPECIFICATIONS, AND SHEARWALL AND HOLDDOWN REQUIREMENTS.
- E NEW EXTERIOR SIDING AND ROOFING SHALL MATCH EXISTING. COORDINATE WITH FLOOR PLANS AND ELEVATIONS.



SCALE: 1/4" = 1'-0"

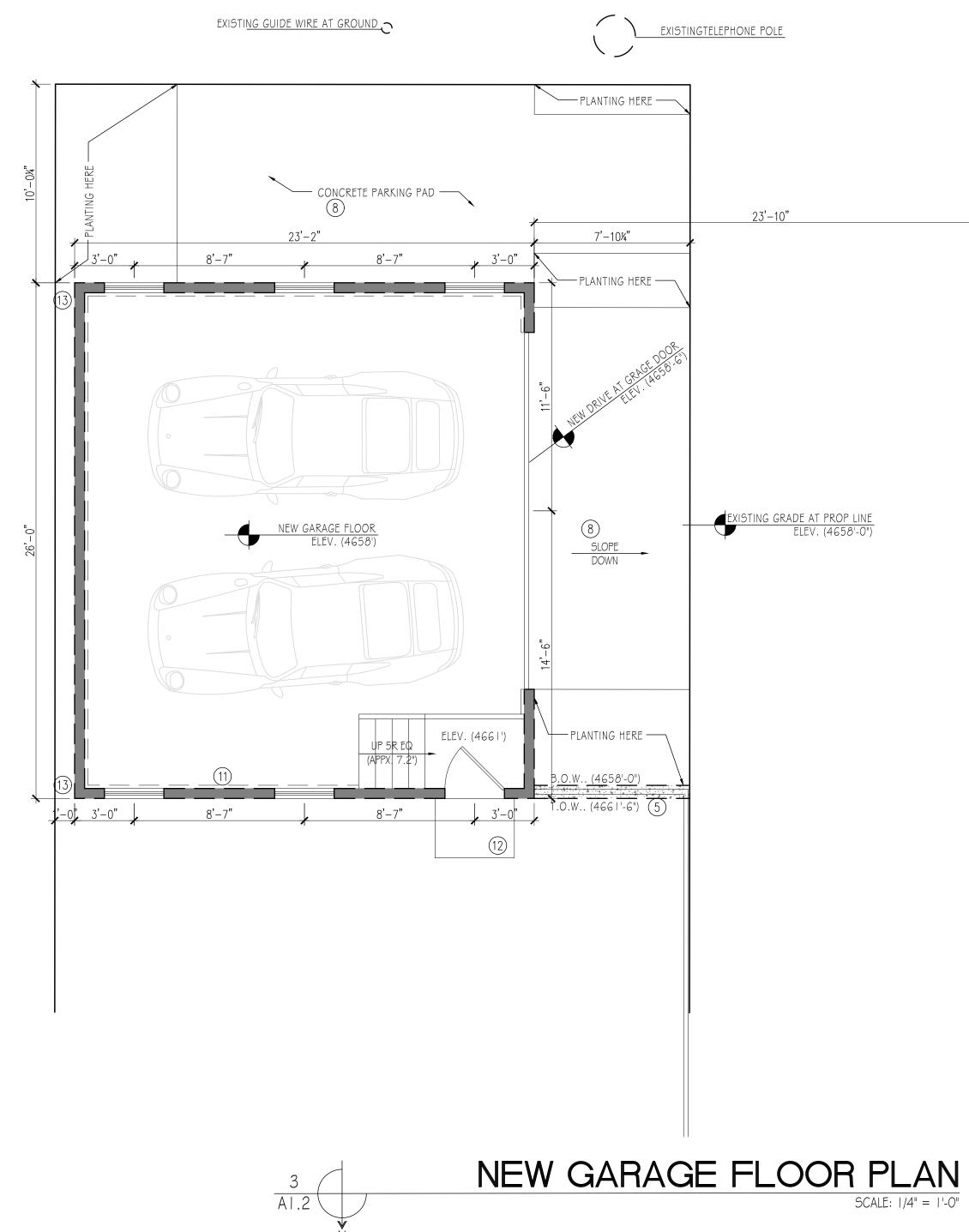
LOT AREA EXISTING HOME AREA FOOTPRINT EXISTING FRONT PORCH AREA EXISTING DETACHED GARAGE AREA EXISTING DETACHED SECONDARY BLDG

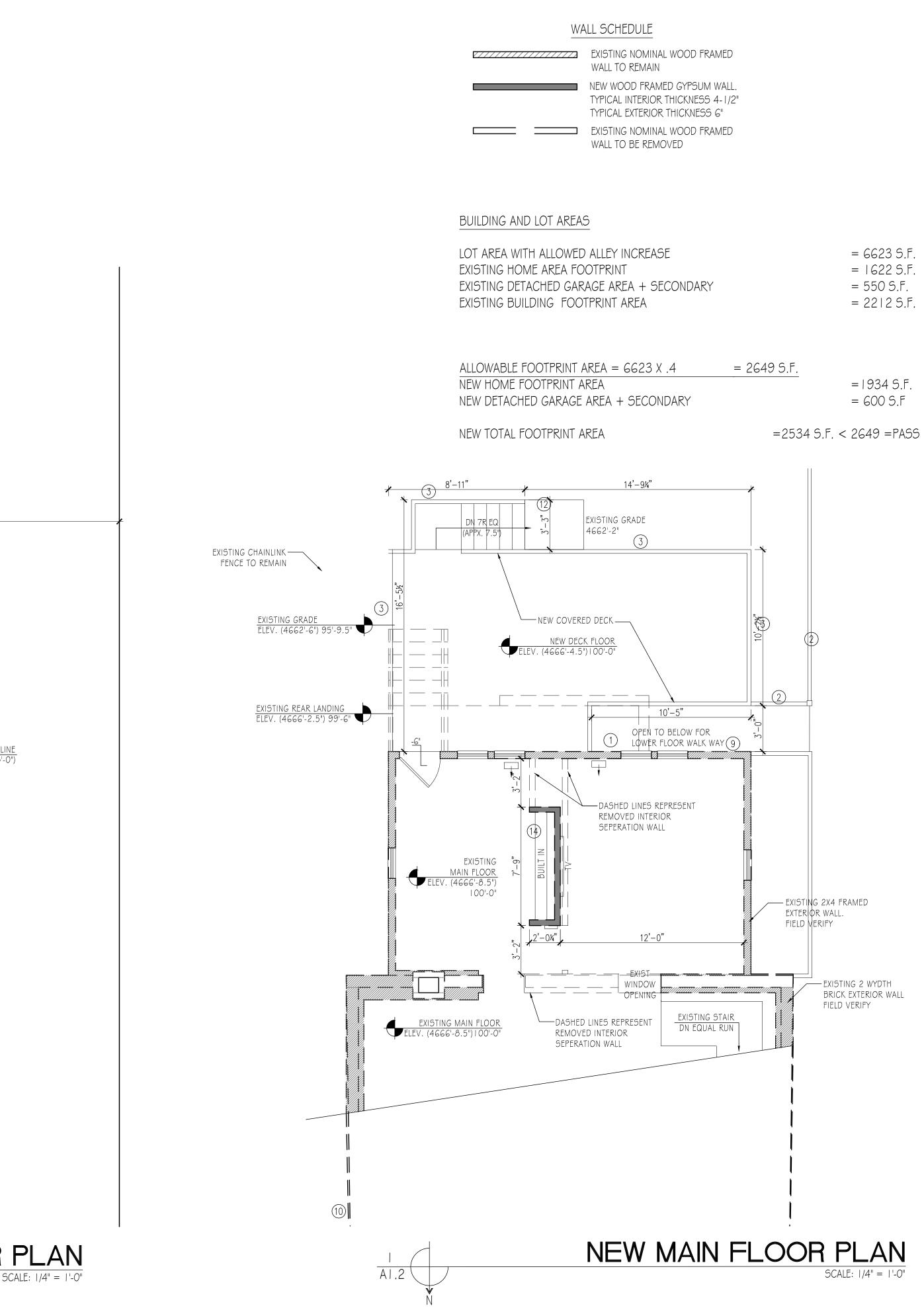
BUILDING AND LOT AREAS

ALLOWABLE FOOTPRINT AREA = $5027 \times .4$ EXISTING BUILDING FOOTPRINT AREA

= 5027 S.F. = 1472 S.F. = 190 S.F. = 491 S.F. = 62 S.F.

= 2010 S.F = 2215 S.F.



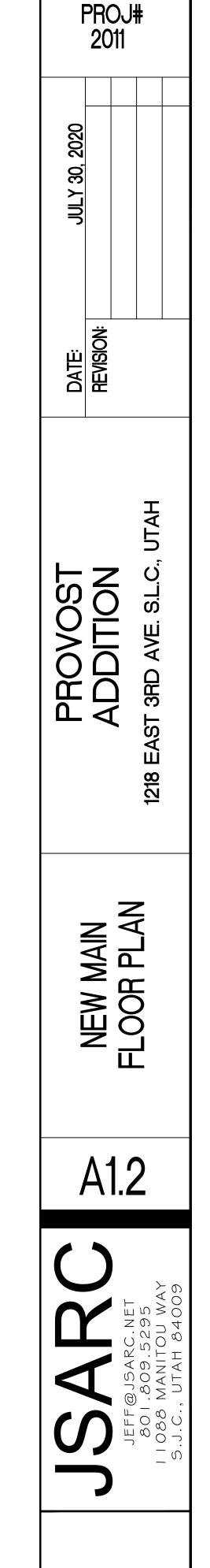


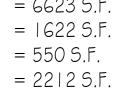
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- E WHERE NEW WINDOWS ARE PLACED, MATCH NEW EXTERIOR FINISH WITH EXISTING EXTERIOR FINISH.
- (F) SEE NOTE SHEET A2.0 AND GO. I FOR ADDITIONAL INFORMATION
- G ALL WINDOW AND DOOR SIZES TO BE AS SHOWN ON ELEVATIONS AND PLANS. MATCH NEW WINDOW AND DOOR TYPE AND FINISH WITH EXISTING WINDOW FINISH
- (H) ALL PLUMBING IN FLOOR ABOVE EXTERIOR OPEN SPACE SHALL BE INSULATED AND HEAT TAPED TYP. NO FREEZING SHALL OCCUR.
- () MATCH ALL NEW FINISHES WITH EXISTING.
- (J) NEW PLUMBING WALLS TO BE 2X6 FRAMING @ I 6" O.C.
- K AT NEW WET AREAS PROVIDE CONTINUOUS WATER RESISTANT FIBER CEMENT GLASS MAT AT CEILING AND WALLS OF ALL BATHROOM WET AREAS. NO GYPSUM BOARD IS ALLOWED.
- L ALL WINDOWS ARE EXISTING U.N.O. COORDINATE ELEVATIONS FOR NEW WINDOW SIZES AND PLACEMENT
- (M) EXISTING MECHANICAL TO REMAIN. ADD DUCTING TO NEW SPACES. IF NEW MECHANICAL IS INSTALLED, EQUIPMENT TO BE 90% EFFICIENT MIN. AND AS PER CURRENT IRC.

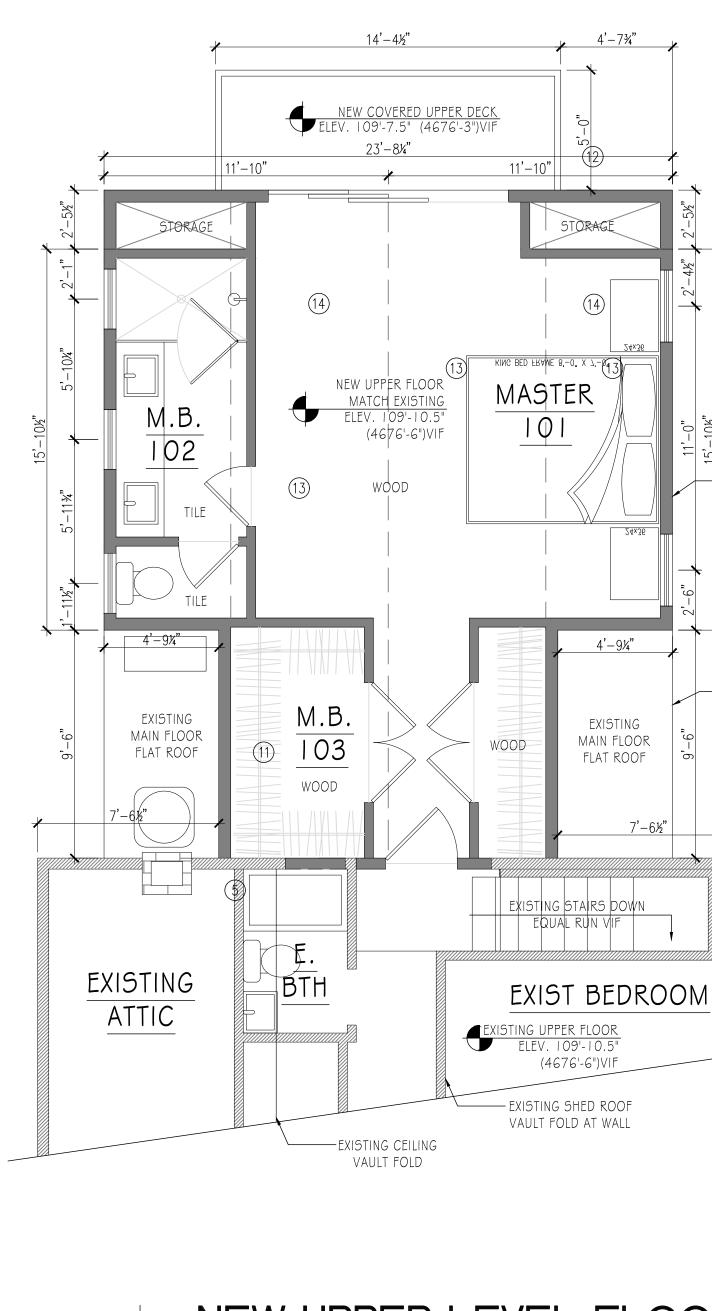
KEYED NOTES

- (1) EXISTING BASEMENT ACCESS TO REMAIN (2) EXISTING CONCRETE RETAINING TO REMAIN. NEW 6'-0" TALL HORIZONTAL CEDAR FENCE TO BE BUILT ON TOP AND REPLACE EXISTING (3) CONTINUE HORIZONTAL CEDAR PICKETS BELOW NEW DECK TO CONCEAL UNDERSIDE OF DECK BELOW (4) NEW CEDAR WOOD DECK WITH UPPER FLOOR ABOVE. COORD WITH ENGINEERING (5) TOP OF FENCE HERE 36" ABOVE TOP OF CONCRETE WALL (7) NOT USED (8) NEW CONCRETE DRIVEWAY AND PARKING PAD (9) EXISTING ELECTRIC METER TO REMAIN (10) EXISTING GAS METER TO REMAIN. SEE SITE PLAN (1) PROVIDE NEW ELECTRIC SUB PANEL IN NEW GARAGE. PROVIDE OUTLET FOR FAST CHARGING ELECTRIC CAR (12) CONCRETE PAD. 36"X36" MIN (13) I HOUR FIRE RATED CONSTRUCTION REAR GARAGE WALL. CONSTRUCTION
 - TO BE 8" CONCRETE TO ABOVE GRADE AND THEN 2X6 WOOD STUD WALL WITH I " CEMENT 'HARDI' BOARD OR EQ. SHIPLAPPED. EAVE AND FASCIA HERE NO FURTHER THAN 4" FROM FACE OF WALL AND SHALL HAVE ALUMINUM FINISH.
- (14) BUILT-IN SHELVING PER OWNER.
- (10) REMOVE EXISTING W/D AND REPLACE WITH BUILT-IN PANTRY.
- (1) MODIFY EXISTING MILLWORK TO ACCOMODATE NEW COUNTERTOP AS SHOWN. COORDINATE WITH OWNER.
- (12) REMOVE EXISTING SLIDING DOOR AND PROVIDE FINISHED OPENING AS SHOWN WITH FINISHES TO MATCH EXISTING HOUSE
- 13 DRYER EXHAUST VENT. VENT TO BE 3'-0" FROM OPENING TO INTERIOR OF HOME
- (15) EXISTING GAS METER TO BE MOVED WHERE SHOWN





=1934 S.F.



2 AI.3

WALL SCHEDULE

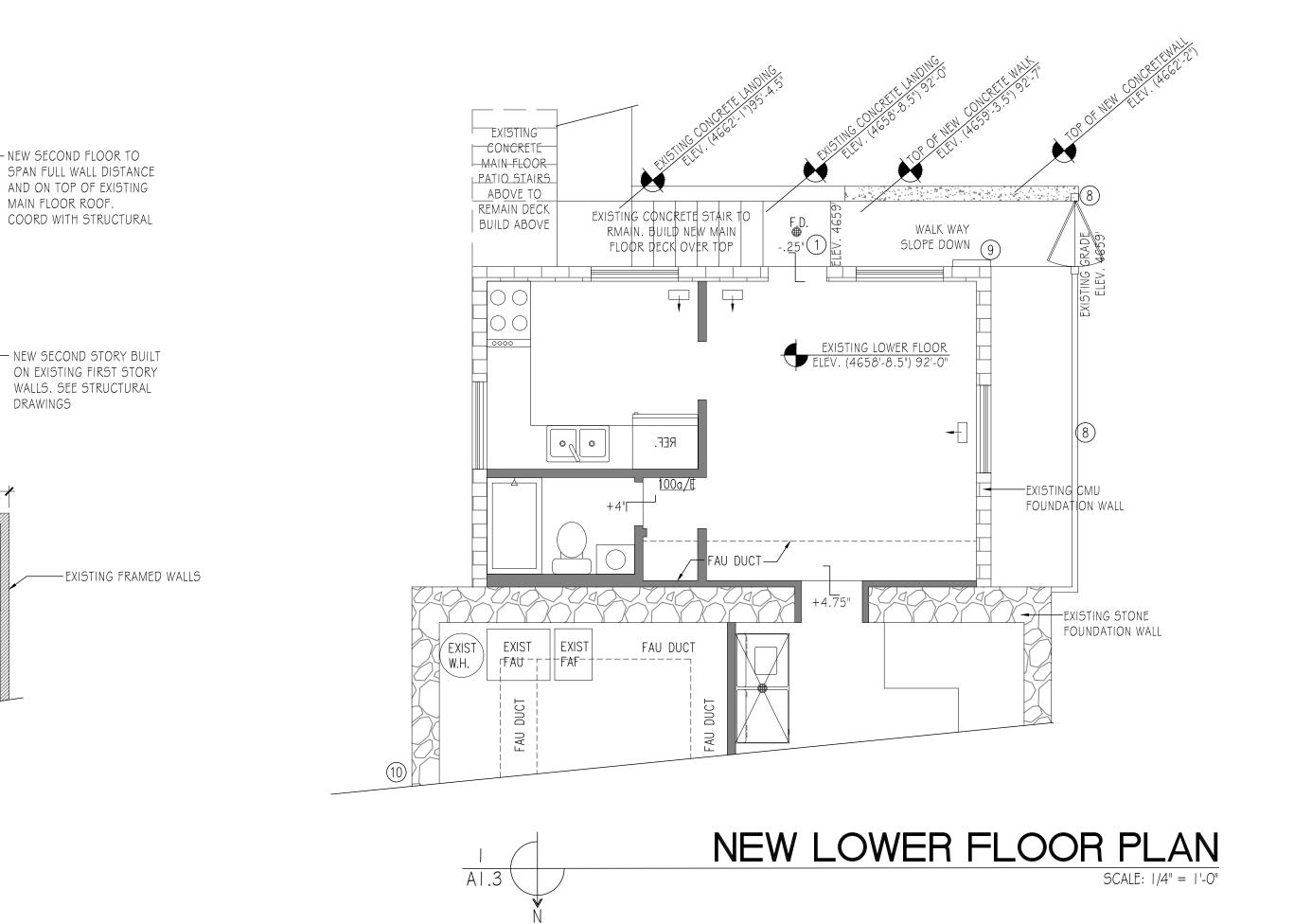
EXISTING NOMINAL WOOD FRAMED WALL TO REMAIN NEW WOOD FRAMED GYPSUM WALL. TYPICAL INTERIOR THICKNESS 4-1/2" TYPICAL EXTERIOR THICKNESS 6" EXISTING NOMINAL WOOD FRAMED WALL TO BE REMOVED

BUILDING AND LOT AREAS

LOT AREA WITH ALLOWED ALLEY INCREASE EXISTING HOME AREA FOOTPRINT EXISTING DETACHED GARAGE AREA + SECONDARY EXISTING BUILDING FOOTPRINT AREA

ALLOWABLE FOOTPRINT AREA = $6623 \times .4$ NEW HOME FOOTPRINT AREA NEW DETACHED GARAGE AREA + SECONDARY

NEW TOTAL FOOTPRINT AREA





GENERAL NOTES

- (A) CONTRACTOR SHALL VERIFY EXISTING CONDITIONS WITH THOSE SHOWN ON PLANS AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPENCIES BEFORE PROCEEDING WITH CONSTRUCTION.
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- () MATCH ALL NEW FINISHES WITH EXISTING.

= 6623 S.F. = 1622 S.F.

= 550 S.F.

= 2212 S.F.

=1934 S.F.

= 600 S.F

=2534 S.F. < 2649 =PASS

= 2649 S.F.

- (J) NEW PLUMBING WALLS TO BE 2X6 FRAMING @ I 6" O.C.
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KEYED NOTES

- (1) EXISTING BASEMENT ACCESS TO REMAIN
- 2 EXISTING DOOR TO BE REMOVED AND SILL BELOW CUT DOWN FOR NEW FLOOR AND DOOR TO PASS THROUGH TO NEW MASTER AREA
- (3) REPLACE EXISTING WINDOW W/ NEW CASEMENT WINDOW, RE: WINDOW
- SCHEDULE
- (4) EXISTING WINDOW TO BE REMOVED NEW WALL TO INFILL
- 5 EXISTING A/C/ UNIT TO REMAIN
- 7 AT LOWER FLOOR WALK OUT CUT EXISTING CONCRETE WALL HERE TO 3" ABOVE EXISTING ENTRY LANDING. POUR NEW 4" CONCRETE WALKWAY OVER TOP, FOR A 7" STEP. COORD. WITH ENGINEERING
- 8 NEW 42" TALL HORIZONTAL PICKET FENCE. WITH GATE ACCESS AS SHOWN
- (9) EXISTING ELECTRIC METER TO REMAIN
- (10) EXISTING GAS METER TO REMAIN. SEE SITE PLAN
- 1) NEW MINI-SPLIT A/C AND HEATING FOR NEW MASTER SUITE AREA
- (12) CANTILEVERED REPUNZEL DECK WITH 36" TALL RAILING AND HORIZONTAL BALUSTERS. COORDINATE WITH STRUCTURAL
- (13) DASHED LINES HERE INDICATE CEILING RIDGE AND SHED FOLD LINES
- (14) LOW CEILING SPACE PROVIDE CABINET DOOR HERE







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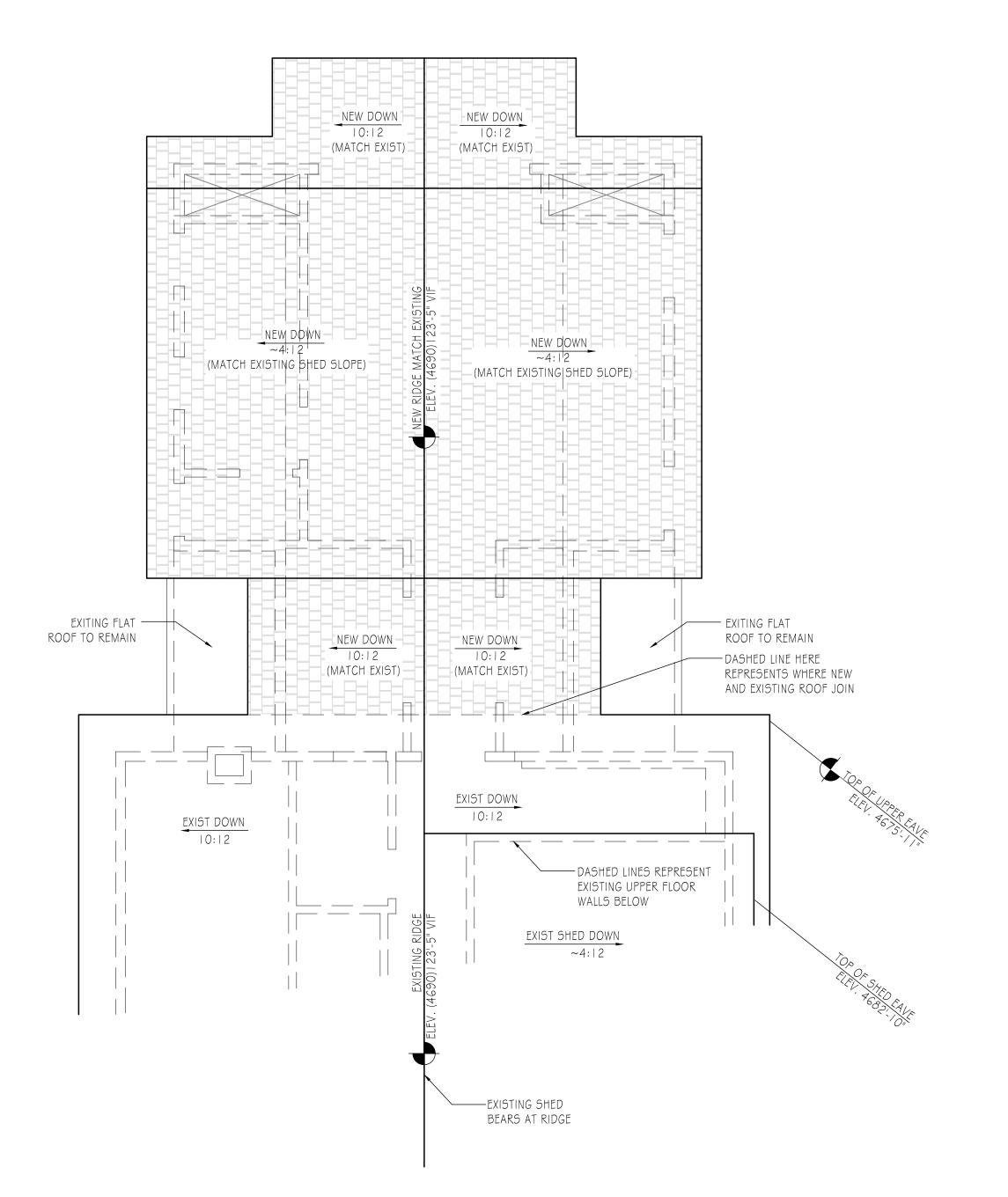
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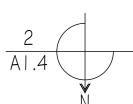
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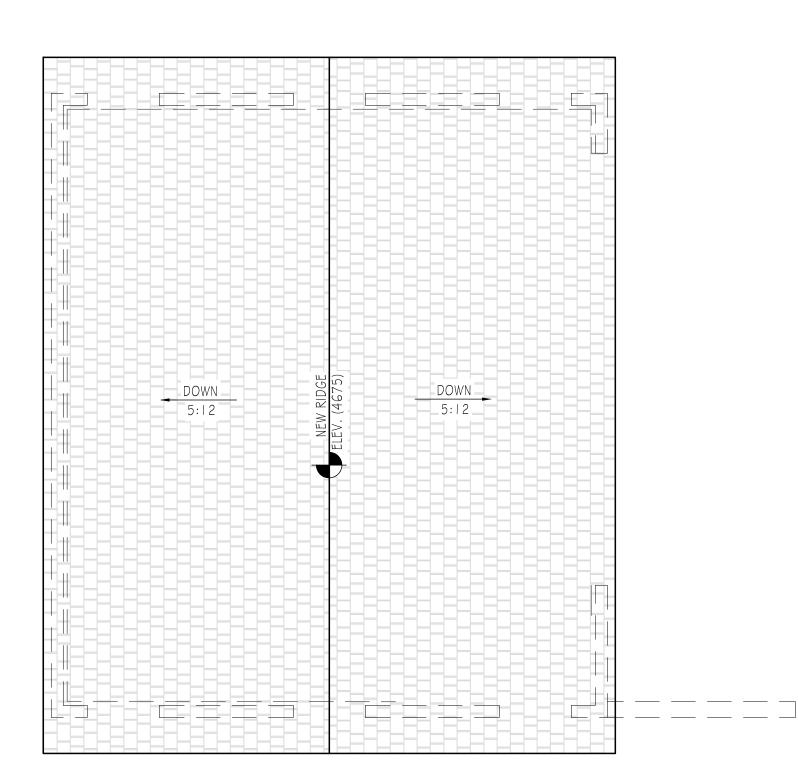
NEW ADDITION ROOF PLAN SCALE: 1/4" = 1'-0"





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BUILDING AND LOT AREAS

LOT AREA WITH ALLOWED ALLEY INCREASE EXISTING HOME AREA FOOTPRINT EXISTING DETACHED GARAGE AREA + SECONDARY

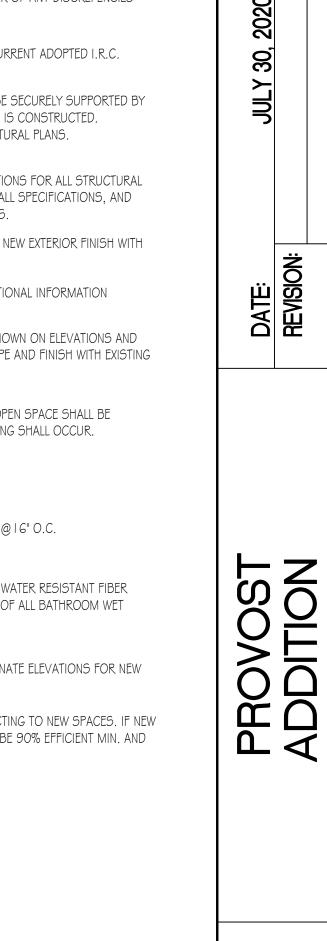
EXISTING BUILDING FOOTPRINT AREA

ALLOWABLE FOOTPRINT AREA = $6623 \times .4$ NEW HOME FOOTPRINT AREA NEW DETACHED GARAGE AREA + SECONDARY

NEW TOTAL FOOTPRINT AREA

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- (K) AT NEW WET AREAS PROVIDE CONTINUOUS WATER RESISTANT FIBER CEMENT GLASS MAT AT CEILING AND WALLS OF ALL BATHROOM WET AREAS. NO GYPSUM BOARD IS ALLOWED.
- ALL WINDOWS ARE EXISTING U.N.O. COORDINATE ELEVATIONS FOR NEW WINDOW SIZES AND PLACEMENT
- (M) EXISTING MECHANICAL TO REMAIN. ADD DUCTING TO NEW SPACES. IF NEW MECHANICAL IS INSTALLED, EQUIPMENT TO BE 90% EFFICIENT MIN. AND AS PER CURRENT IRC.



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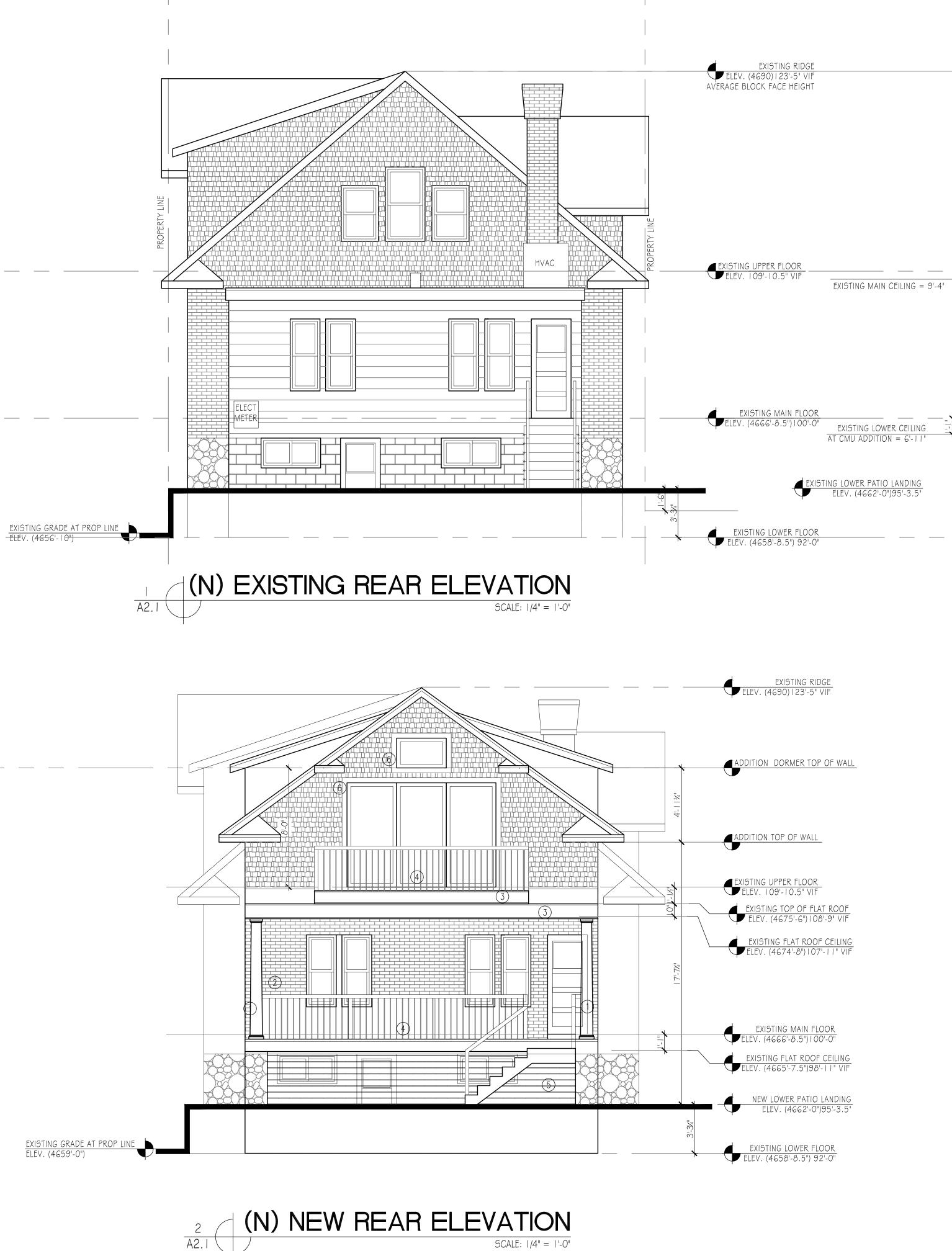
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=2534 S.F. < 2649 =PASS





SCALE: 1/4" = 1'-0"

GENERAL ELEVATION NOTES

- A CONTRACTOR SHALL VERIFY EXISTING CONDITIONS WITH THOSE SHOWN ON PLANS AND NOTIFY ARCHITECT OF ANY DISCREPENCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- (B) ALL CONSTRUCTION SHALL CONFORM TO CURRENT ADOPTED I.R.C.
- C ALL EXISTING BEARING CONDITIONS SHALL BE SECURELY SUPPORTED BY TEMPORARY SUPPORTS UNTIL NEW BEARING IS CONSTRUCTED. COORDINATE WITH FLOOR PLANS AND STRUCTURL PLANS.
- D SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS, INCLUDING FOUNDATION WALL SPECIFICATIONS, AND SHEARWALL AND HOLDDOWN REQUIREMENTS.
- E NEW EXTERIOR FINISH TO MATCH EXISTING AS SHOWN. REPAINT EXISTING TO MATCH EXISTING COLOR
- (F) SEE NOTE SHEET A2.0 AND GO. I FOR ADDITIONAL INFORMATION
- G ALL WINDOW AND DOOR SIZES TO BE AS SHOWN ON ELEVATIONS AND PLANS. MATCH NEW WINDOW AND DOOR TYPE AND FINISH WITH EXISTING WINDOW FINISH

DOOR AND WINDOW NOTES

NOTE: ALL NEW DOOR HARDWARE TO MATCH EXISTING NOTE: GLASS IN ALL DOOR PANELS AND DOOR SIDELIGHT UNITS SHALL BE TEMPERED GLASS

NOTE: FIELD MEASURE ALL OPENINGS FOR ACCURACY BEFORE ORDERING DOORS AND WINDOWS

NOTE: MATCH EXISTING WINDOW AND DOOR FINISH

NOTE: ALL NEW WINDOW AND DOOR GLAZING SHALL HAVE A MIN. .35 U AND .60 SHGC.

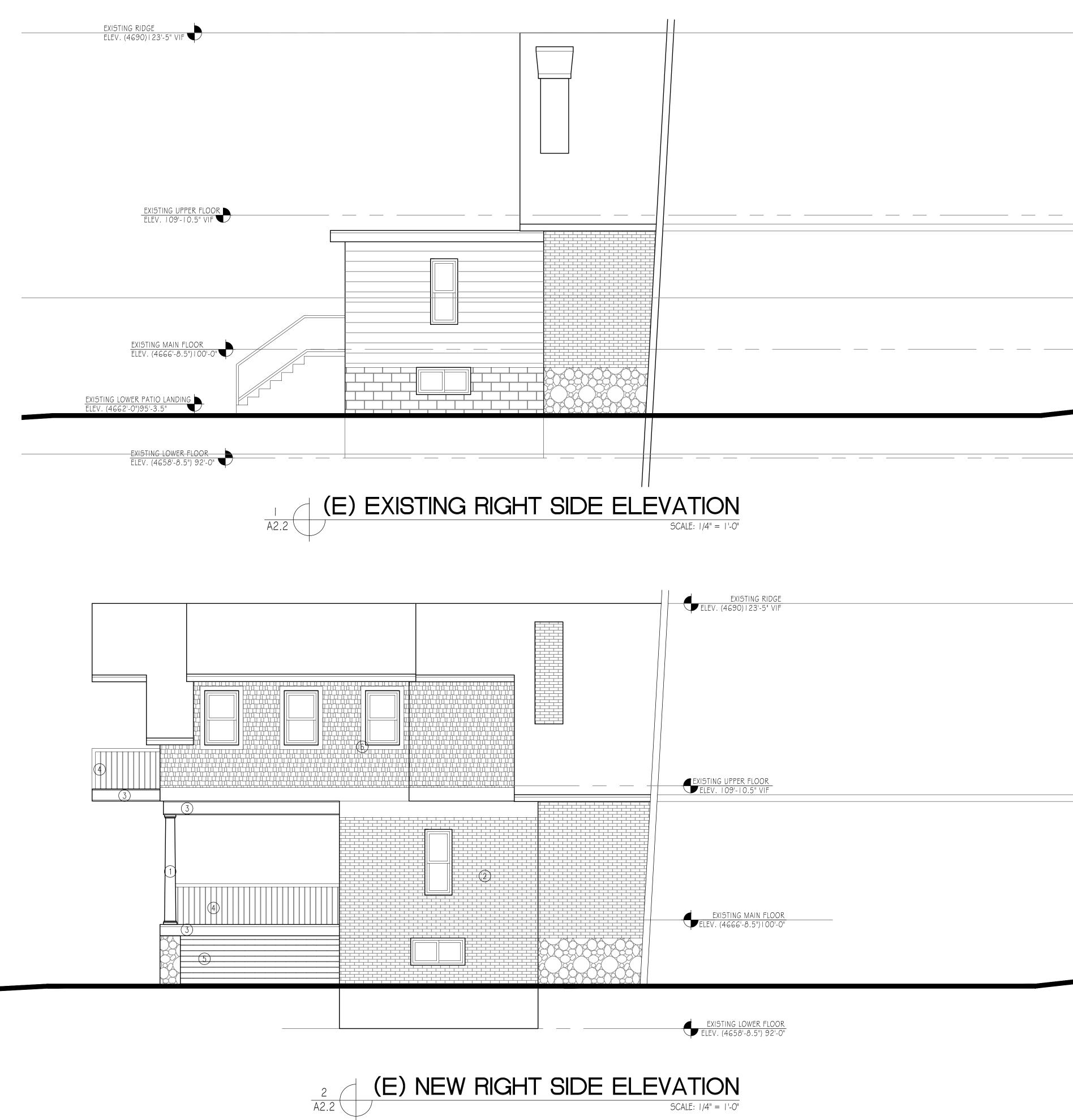
NOTE: THERE IS AN AVERAGE SLOPE FROM FRONT OF PROPERTY TO REAR OF PROPERTY OF 5'-6"

KEYED NOTES

(1) MATCH COLUMN TYPE AND SIZE FROM FRONT PORCH AT NEW REAR PORCH

- (2) MATCH NEW BRICK VENEER AND MORTAR WITH EXISTING.
- 3 PAINT GRADE WOOD SKIRT BOARD AND BEAM WRAP TO MATCH EXISTING FRONT PORCH STYLE AND TYPE
- 4 PAINTED WOOD RAIL AND BALUSTERS TO MATCH EXISTING AT FRONT PORCH. RAILING TO BE 36" TALL WITH BALUSTERS AT 4" O.C. MAX.
- 5 PAINTED HORIZONTAL DECK SKIRT BOARDS. PAINT TO MATCH EXISTING
- 6 NEW WINDOW CASEMENT TO MATCH ORIGINAL HOME IN STYLE AND COLOR

F	2011		
JULY 30, 2020			
DATE:	REVISION		
PROVOST	ADDITION	1218 EAST 3RD AVE. S.L.C., UTAH	
	EXISTING AND NEW	REAR ELEVATIONS	
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) / てつつ	JEFF@JSARC.NET 801.809.5295 11088 MANITOLI WAY	S.J.C., UTAH 84009
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GENERAL ELEVATION NOTES

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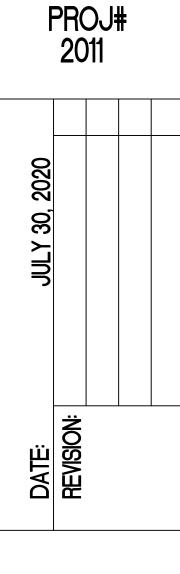
NOTE: FIELD MEASURE ALL OPENINGS FOR ACCURACY BEFORE ORDERING DOORS AND WINDOWS NOTE: MATCH EXISTING WINDOW AND DOOR FINISH

NOTE: ALL NEW WINDOW AND DOOR GLAZING SHALL HAVE A MIN. .35 U AND .60 SHGC.

NOTE: THERE IS AN AVERAGE SLOPE FROM FRONT OF PROPERTY TO REAR OF PROPERTY OF 5'-6"

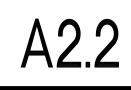
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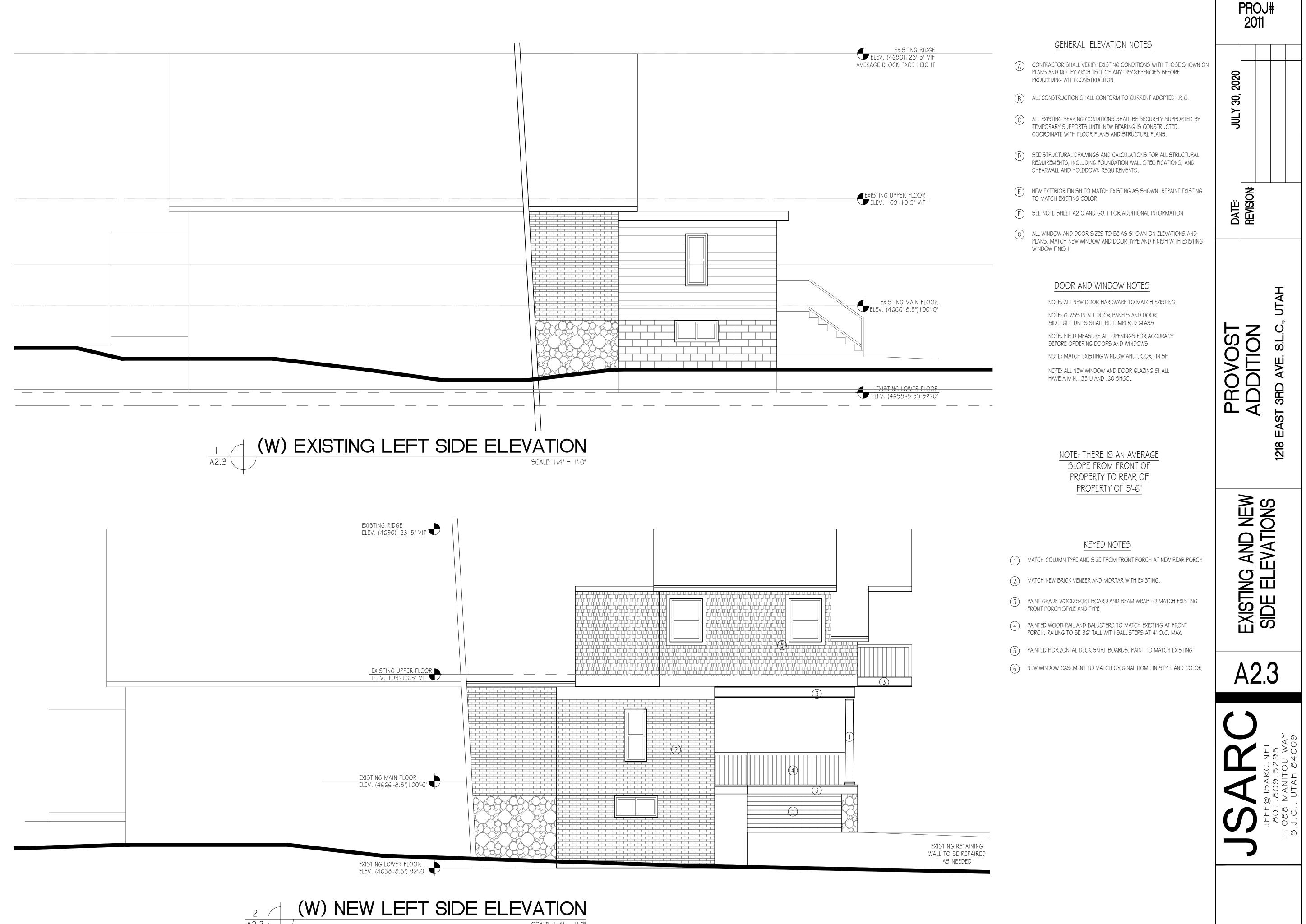






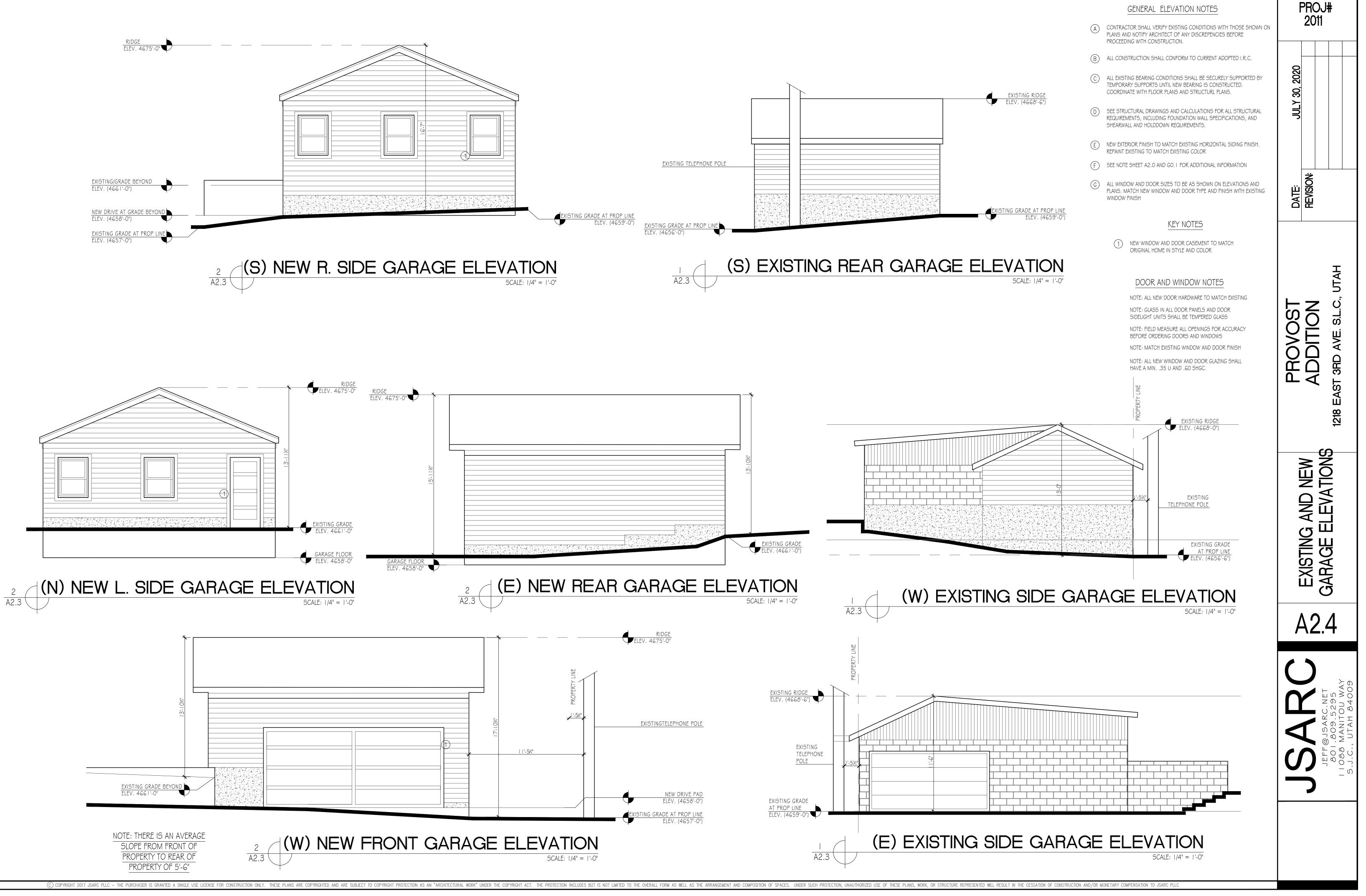






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C) COPYRIGHT 2017 JSARC PLLC - THE PURCHASER IS GRANTED A SINGLE USE LICENSE FOR CONSTRUCTION AND/OR MONETARY COMPENSATION TO JSARC PLLC





HP: Minor Alterations

		OFFICE U	SE ONLY			
Project #:		Received By:	D	ate Recei	ved:	Zoning:
Project Name:						
	PLEASE P	ROVIDE THE FOL	LOWING	INFORMA	TION	
Request: Request for rear a	ddition and the	moving of deta	ached ga	arage to	different lo	ocation
Address of Subject Pr 1218 3rd Avenue S		Jtah				
Name of Applicant: Jeff Schindewolf					Phone: 301-809-52	95
Address of Applicant 11088 Manitou Wa		n, Utah 84009				
E-mail of Applicant: jeff@jsarc.net	-				Cell/Fax:	
Applicant's Interest in	n Subject Property -					
Owner Owner Name of Property Ov Scott and Jen Prov		Architect rom applicant):	Oth	ier:		
E-mail of Property Ov sprovost_08@yah					Phone: 301-949-09	940
	ovided for staff an uding professional	alysis. All inform	ation requ	ired for s	taff analysis	will be copied and
· · ·	• •	AVAILABLE CO	NSULTATI	ION		
 Planners are avai 	lable for consultat estions regarding t	•	-		on. Please ca	ll (801) 535-7700 if
		E TO FILE THE CO				
Mailing Address:	Planning Counter		In Perso		Planning Cou	nter
-	PO Box 145471			Z	51 South Sta	ate Street, Room 215
	Salt Lake City, UT	84114		T	elephone: (8	301) 535-7700
		SIGNA	TURE			
➔ If applicable, a new second sec	otarized statemen	t of consent auth	norizing ap	plicant to	act as an ag	ent will be required.
Signature of Owner of	or Agent:				Date:	
Jeff Schindewolf				9	9/9/2020	

SUBMITTAL REQUIREMENTS

Staff Review	x	Project Description (please attach additional sheet) Written description of your proposal
	Z.	Drawings to Scale
	x	One paper copy (24" x 36")
	x	A digital (PDF) copy
	x	One 11 x 17 inch reduced copy of each of the following
		a. Site Plan
	x	Site plan with dimensions, property lines, north arrow, existing and proposed building locations on the property. (see <i>Site Plan Requirements</i> flyer for further details)
		b. Elevation Drawing
	x	Detailed elevation, sections and profile drawings with dimensions drawn to scale of the area of change
	x	Show section drawings of windows, doors, railings, posts, porches, etc. if proposed also show type of construction where applicable.
	3.	Photographs
	x	Historic photographs of existing building/s (if available)
	x	Current photographs of each side of the building
	x	Close up images of details that are proposed to be altered
	4.	Materials
	x	List of proposed materials
	x	Provide samples and/or manufactures brochures were applicable

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

X I acknowledge that Salt Lake City requires the items above to be submitted before my application can be processed. I understand that Planning will not accept my application unless all of the following items are included in the submittal package.



SALT LAKE CITY PLANNING

Special Exception NOTICE OF APPLICATION

Planning Commission Historic Landmark Commission							
OFFICE USE ONLY							
Project #:	Received By:	Date Rece	eived:	Zoning:			
Project Name:	Project Name:						
PLEASE P	ROVIDE THE FOLLOWIN	G INFORM	ATION				
Type of Special Exception Requested:							
Address of Subject Property:							
Name of Applicant:			Phone:				
Address of Applicant:							
E-mail of Applicant:			Cell/Fax:				
Applicant's Interest in Subject Property	:						
Owner Contractor	Architect	Other:					
Name of Property Owner (if different fi	rom applicant):						
E-mail of Property Owner:			Phone:				
Please note that additional information	ation may be required by	the projec	t planner to e	ensure adequate			
information is provided for staff an	•	•	•	•			
made public, including professional review by any interested party.		ering urawi	ngs, for the p	urposes of public			
WHER	E TO FILE THE COMPLET	E APPLICAT	ION				
Mailing Address: Planning Counter	· In Pe	rson:	Planning Cou				
PO Box 145471				ate Street, Room 215			
Salt Lake City, UT	84114		Telephone: (8	801) 535-7700			
	REQUIRED FEE						
Filing fee of \$265 plus additional cost of postage for mailing notice to abutting property owners and tenants							
	SIGNATURE						
If applicable, a notarized statement of consent authorizing applicant to act as an agent will be required.							
Signature of Owner or Agent:			Date:				

SUBMITTAL REQUIREMENTS

Statt Revi	
÷	1. Project Description (please attach additional sheet)
	Written description of your proposal
	2. Minimum Plan Requirements
	One paper copy (24" x 36") of each plan and elevation drawing
	A digital (PDF) copy of the each plan and elevation drawing
	One 11 x 17 inch reduced copy of each plan and elevation drawing
	3. Site Plan
	Site plan (see <i>Site Plan Requirements</i> flyer for further details)
	4. Elevation Drawing (if applicable)
	Detailed elevation, sections and profile drawings with dimensions drawn to scale
	Type of construction and list the primary exterior construction materials
	Number, size, and type of dwelling units in each building, and the overall dwelling unit density

AVAILABLE CONSULTATION

Planners are available for consultation prior to submitting this application. Please call (801) 535-7700 if you have any questions regarding the requirements of this application.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

I acknowledge that Salt Lake City requires the items above to be submitted before my application can be processed. I understand that Planning will not accept my application unless all of the following items are included in the submittal package.



JASRC Jeff Schindewolf, Architect 11088 Manitou Way SJC, Utah 84009 801-809-5295 jeff@jsarc.net

To: Salt Lake City Planning and Historical review Dept.
From: Jeff Schindewolf, Architect
Project Owners: Jen and Scott Provost
Project name: Provost residence
Project address: 1218 3rd avenue S.L.C., Ut 84103
RE: special exception and major renovation

Date: July 31, 2020 This letter is written to request approval for an upper floor addition and renovation as well as a removal and rebuild of an existing detached garage.

Garage - A height exception for the detached garage is requested due to the sloped yard in that area and to allow the garage to conform better with the existing style of the home. The request is to allow a gable end roof and height to access the garage and walk down the stairs on the interior of the garage for winter/slip safety purposes.

Main home – an upper floor addition is requested and to be built above a previous flat roof main floor addition. The exception requested is for a wider dormer wall of 15' instead of the coded 10'. This is to allow for more standard room sizes in the added master suite bedroom and bathroom and keep headroom consistent through those spaces.

The project also includes the following notable items.

- 1. No height exception is requested for the main home.
- 2. The existing driveway and garage are moved for safer entry and exit from the garage and more visible clearance around the alley corner.
- 3. The new placement avoids the current location of a telephone pole and guide wire at the rear of the property, which cause difficulties for entry and exit.
- 4. The exterior of both renovations will update the exterior materials and finishes to better match the original home

- 5. The new upper floor addition will allow the Provost family to have the needed added bedroom and bath facility for their family.
- 6. No exception is needed for setbacks addition/renovations conform
- 7. No exception is needed for area increase as addition/renovation conform

Included with this letter are other documents explaining our reasoning for the request as well as photos, and drawings for review and use.

Additional documents are:

- 1. code requirements for the request with written explanation of our reasoning for approval in red
- 2. photos of existing home and garage as well as alleys
- 3. the drawing set is submitted in pdf format only at this time due to the coronavirus requirements. Full and half size printed sets can be available at any time as needed.
- 4. The drawing set includes

Title sheet

Survey of existing conditions

Photos of the existing conditions

Architectural site plan

1. showing the main floor plan showing the added deck and new detached garage configuration.

2. showing the upper floor plan noting conforming setbacks from adjacent properties and property lines

3. showing new roofs for main home addition and detached garage.

Existing floor roof plans

Exiting detached garage floor and roof plans

New detached garage and main floor plans

New upper and lower floor plans

New main home and detached garage roof plans

Existing and new rear elevations

Existing and new side elevations

Existing and new side elevations sheet 2

Existing and new detached garage elevations

Please feel free to call or email me if you have any questions. Regards,

Jeff Schindewolf, Architect

21A.52.060: GENERAL STANDARDS AND CONSIDERATIONS FOR SPECIAL EXCEPTIONS:

No application for a special exception shall be approved unless the planning commission, historic landmark commission, or the planning director determines that the proposed special exception is appropriate in the location proposed based upon its consideration of the general standards set forth below and, where applicable, the specific conditions for certain special exceptions.

A. Compliance With Zoning Ordinance And District Purposes: The proposed use and development will be in harmony with the general and specific purposes for which this title was enacted and for which the regulations of the district were established.

Home renovation is similar to many existing and updated homes throughout this neighborhood in both style and scale. See accompanying documentation.

B. No Substantial Impairment Of Property Value: The proposed use and development will not substantially diminish or impair the value of the property within the neighborhood in which it is located.

New detached garage location and entry provides safer entry and exist to owners home as well as safer circulation for neighboring homes as it eliminates a blind corner at the alley. The addition of the upper floor is consistent with style and design of the existing home and improves the livability of the Provost family and any future families. It also preserves the existing home upper floor layout as the addition provides a master bedroom as an addition rather than trying to reconfigure the existing space and losing the historical interior.

C. No Undue Adverse Impact: The proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.

The detached garage height is compatible with existing detached garage heights in the neighborhood and allows for the owners safer circulation in inclement weather with an interior stair from the garage floor to the rear yard. The slope at the garage area has a fall from 61 to 57, 4'-0".

The new location improves the property and neighboring properties as described above.

The new addition to the home allows the owner to update the existing additions materials and character to more closely match the original home by covering the cmu blaock with a brick veneer to match the original home. The new home provides a space that is better suited to current lifestyles while preserving the original homes interior. These items will help with resale and increase the value of neighboring properties. D. Compatible with Surrounding Development: The proposed special exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.

A majority of homes on the street are updating interiors and garages to better suite current lifestyle needs. Those that have done so successfully are valued higher and retain ownership longer.

E. No Destruction Of Significant Features: The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.

No destruction of significant features shall occur. On the contrary the addition and detached garage add to the features with materials form and color

- F. No Material Pollution Of Environment: The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution. N/A
- G. Compliance With Standards: The proposed use and development complies with all additional standards imposed on it pursuant to this chapter. (Ord. 10-16, 2016) Yes

21A.52.070: CONDITIONS ON SPECIAL EXCEPTIONS: 🗐 🖃

Conditions and limitations necessary or appropriate to prevent or minimize adverse effects upon other property and improvements in the vicinity of the special exception or upon public facilities and services may be imposed on each application. These conditions may include, but are not limited to, conditions concerning use, construction, operation, character, location, landscaping, screening and other matters relating to the purposes and objectives of this title. Such conditions shall be expressly set forth in the approval record of the special exception. (Ord. 73-11, 2011)

21A.52.080: RELATION OF SPECIAL EXCEPTION: 🗐 🖃

A special exception shall be deemed to relate to, and be for the benefit of, the use and lot in question rather than the owner or operator of such use or lot. (Ord. 73-11, 2011)

As aforementioned moving the garage allows for safer circulation both within the property and on the neighboring alley corner. This circulation is better served by this and any future occupant with the stairs at the interior of the garage to prohibit5 slipping accidents in winter and inclement weather. To get the required door height at the man door exit requires a wall that is slightly higher than coded. To improve the quality and retain the character of the home and neighboring home a gable roof is necessary. A gable roof also is more efficient at shedding water and snow than a flat or slightly pitched roof eliminating the possibility of water penetration into the garage and increasing the cost and detriment to this owner and any future owners.

The addition of the main upper floor with the dormer wall exception allows for normal circulation at a regular head height for the home. This is useful for the current and any new owners livability. This avoids any low head height space in an awkward location minimizing head injuries for this and any new owners.

ATTACHMENT E: ANALYSIS OF STANDARDS FOR SR-1A ZONING DISTRICT

21A.24.080: SR-1A Special Development Pattern Residential District

The purpose of the SR-1 Special Development Pattern Residential District is to maintain the unique character of older predominantly single-family and two-family dwelling neighborhoods that display a variety of yards, lot sizes and bulk characteristics. Uses are intended to be compatible with the existing scale and intensity of the neighborhood. The standards for the district are intended to provide for safe and comfortable places to live and play, promote sustainable and compatible development patterns and to preserve the existing character of the neighborhood.

Standard	Proposed	Finding
Minimum Lot Area: Single-family detached dwellings: 5,000 sf	Approx. 6,623 sf	Complies
Minimum Lot Width: Multi-family dwellings: 50 ft.	32 feet	Legal Non- Complying
Maximum Building Height:Pitched Roofs:23 ft. measured to the ridgeof the roofExterior Walls:16 ft. for exterior wallsplaced at the building setback establishedby the minimum required interior side yardDormer Width:10 ft.	Proposed maximum height of pitched roof matches that of the existing ridge of the house – approx 28 feet. East side building wall is approx. 17'- 7" in height; West side building wall is approx. 21'-7" in height 15'-10"	Applicant has requested Special Exception approval for additional building height (includes overall building
		height and building wall heights) and dormer width
Front Yard Setback: Average of the front yards of existing buildings within the block face, or 20 ft.	This proposal will not affect the front yard setback area.	N/A
Interior Side Yard Setback: 4 ft. on one side and 10 ft. on the other	East side: 4 feet West side: 4 ft + ½ alley width: 12 ft	Complies
Rear Yard Setback: 25% of the lot depth, but not less than 15 ft. and need not exceed 30 ft. (25% of 157.09'=39.27') = 30 ft.	52 ft., 9 ¾ in.	Complies
Accessory Building: Maximum Building Height: <u>Pitched Roofs:</u> 14 ft. measured to the ridge of the roof from the existing grade. North to south: slope allows an additional 2 ft. on downhill side.		Applicant has requested Special Exception approval for additional building height (includes overall

East to West: slope allows 1.5 feet on downhill side. Adjusted Maximums: North side: 14 ft; South Side: 16 ft. East side: 14 ft; West side: 15.5 ft. <u>Exterior Walls:</u> 9 ft. from the existing grade; North to south: slope allows an additional 2 ft. on downhill side. East to West: slope allows 1.5 feet on downhill side. Adjusted Maximums: North side: 9 ft; South Side: 11 ft. East side: 9 ft; West side: 10.5 ft. Maximum Accessory Building Coverage: 600 sq. ft.	North Side: 13'-11" - Complies South Side:16'-7" – Exceeds by 7" East side: 13'-11" - Complies West side: 15' -11" – Exceeds by 5" North Side: 9'-0" - Complies South Side: 11'-7" – Exceeds by 7" East side: 9'-0" - Complies West side: 15' -11" –Exceeds by 5"-5" 598 sq. ft.	building height and building wall heights)
Maximum Building Coverage: The surface coverage of all principal and accessory buildings shall not exceed 40% of the lot area.	Existing house: 1472 sf Addition: 462 sf Garage: 600 sf Total: 2534 sf bldg area / 6,623 lot area 38% building coverage	Complies

ATTACHMENT F: ANALYSIS OF STANDARDS FOR SPECIAL EXCEPTION REQUESTS

21A.06.050(C) of the Zoning Ordinance authorizes the Historic Landmark Commission to review and approve or deny certain Special Exceptions for properties located within an H Historic Preservation Overlay District, including modifications to bulk and lot regulations of the underlying zoning district, where it is found that the underlying zoning would not be compatible with the historic district and/or landmark site. For this proposal, Special Exception approval is being sought to permit additional building height for the new addition, and also to allow for a reduced separation between the new addition and a new garage, which was previously issued a COA by Staff.

21A.52.020: Definition: A "special exception" is an activity or use incidental to or in addition to the principal use(s) permitted in a zoning district or an adjustment to a fixed dimension standard permitted as exceptions to the requirements of this title of less potential impact than a conditional use but which requires a careful review of such factors as location, design, configuration and/or impacts to determine the desirability of authorizing its establishment on any given site.

Standard	Analysis	Finding
A. Compliance With Zoning Ordinance And District Purposes: The proposed use and development will be in harmony with the general and specific purposes for which this title was enacted and for which the regulations of the district were established.	The Zoning Ordinance indicates that the Historic Landmark Commission may grant additional building height for properties within the H Historic Preservation Overlay, subject to the provisions of that zone. Staff finds that the project, as currently proposed, meets the standards of approval for a Major Alteration to a contributing structure, which have the main purpose of ensuring the compatibility of new development within the Local Historic Districts.	Complies
B. No Substantial Impairment Of Property Value: The proposed use and development will not substantially diminish or impair the value of the property within the neighborhood in which it is located.	For similar reasons stated in the section above, Staff finds that the special exceptions would not diminish or impair property values within the surrounding neighborhood.	Complies
C. No Undue Adverse Impact: The proposed use and development will not have a material adverse effect upon the character of the area or the public health, safety and general welfare.	The proposed development would not have a material adverse effect upon the character of the area or the public health, safety and general welfare.	Complies
D. Compatible With Surrounding Development: The proposed special exception will be constructed, arranged and operated so as to be compatible with the use and development of neighboring property in accordance with the applicable district regulations.	The proposal includes an addition to an existing single family home that has been on site since 1909, which will continue to be used as a single family home. The addition is proposed to exceed the maximum permitted bulk and lot requirements within the SR-1A district, but there are provisions in the Zoning Ordinance to permit additional height if the overall project complies with standards of approval of the H Historic	Complies

21A.52.060: General Standards and Considerations for Special Exceptions:

	Preservation Overlay. Staff has found that the project complies with standards for Major Alterations to Contributing Structures, and that the addition would be compatible in massing, size, scale, and design with the existing single family home, as well as the larger Historic District.	
E. No Destruction Of Significant Features: The proposed use and development will not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.	Staff finds that the new addition and garage would not result in the destruction, loss or damage of natural, scenic or historic features of significant importance.	Complies
F. No Material Pollution Of Environment: The proposed use and development will not cause material air, water, soil or noise pollution or other types of pollution.	The Special Exception requests involve relief from lot and bulk dimensional standards. There is no evidence showing that the proposal would cause material pollution of the environment.	Complies
G. Compliance With Standards: The proposed use and development complies with all additional standards imposed on it pursuant to this chapter.	The project, as proposed, complies with all additional requirements / standards of the Zoning Ordinance, including those of the SR-1A district, and H Historic Preservation Overlay zone.	Complies

ATTACHMENT X: ANALYSIS OF STANDARDS FOR MAJOR ALTERATIONS

Standards for Certificate of Appropriateness for Altering of a Landmark Site or Contributing Structure Including New Construction of an Accessory Structure (21A.34.020.G)

In considering an application for a Certificate of Appropriateness for the alteration of a contributing structure in a historic district, the Historic Landmark Commission shall find that the project substantially complies with all of the general standards that pertain to the application and that the decision is in the best interest of the City. The proposal is reviewed in relation to those that pertain in the following table.

A Preservation Handbook for Historic Residential Properties & Districts in Salt Lake City, primarily Chapters 8 and 9, but also 2, 3, 4, 5, 6, 7, and 13, are the relevant design guidelines for this design review. The Design Objectives and related design guidelines are referenced in the following review where they relate to the corresponding Historic Design Standards for Alteration of a Contributing Structure Including New Construction of an Accessory Structure (21A.34.020.G), and can be accessed via the links below. Design Guidelines as they relate to the Design Standards are identified in Attachment X to this report. http://slcgov.com/historic-preservation/historic-preservation-residential-design-guidelines https://codelibrary.amlegal.com/codes/saltlakecityut/latest/saltlakecity_ut/0-0-0-66359

Standard Analysis Finding 1. A property shall be used The existing primary structure on the property Complies for its historic purpose or was constructed in 1909 as a single-family house, be used for a purpose that and the applicant is proposing to continue the requires minimal change same use to the defining characteristics of the Likewise, the new garage continues an established building and its site and accessory use and will not change any defining environment: characteristics of the historic building, neighboring buildings or the surrounding environment. 2. The historic character The proposed addition and new garage would not **Complies** alter any character-defining features of the of a property shall be retained and preserved. historic structure or site. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided: 3. All sites, structures and The proposed addition would be separated by a **Complies** objects shall be recognized connecting link that sets it apart from the bulk of as products of their own the historic home, as suggested in the design time. Alterations that have guidelines. no historical basis and which seek to create a The materials and design of the addition are false sense of history or intentionally similar to that of the historic architecture are not building, but do not seek to create a false sense of allowed: history or architecture. Planning Staff will work with the applicants to ensure that the addition's design is appropriately differentiated from the historic building. The proposed garage is utilitarian and will be clearly apparent as new construction.

4. Alterations or additions that have acquired historic significance in their own right shall be retained and preserved;	Some alterations to the building occurred during the period of significance for the Avenues Historic District. An example is the c.1963 alteration of the rear utility porch that included applying aluminum siding to the original wood walls. Staff finds that these alterations are not character- defining architectural features, nor are they associated with any individual or event that might make them significant in their own right. Thus, their removal as part of this proposal would be appropriate. Likewise, while the garage and smaller shed at the rear of the lot were probably constructed and altered within the period of significance for the Avenues Historic District, By precedent, demolition of these sort of small garages and outbuildings are rarely denied. Typically, they would need to be good examples of a rare building type or have clear ties to the significance of the primary building on the property. Staff finds that they do not rise to the level of significance that would preclude their replacement.	Complies
5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved;	The historic home does have distinctive features, finishes, construction techniques, and examples of craftsmanship, but none of them would be affected by the proposed addition, which would be attached to a portion of the rear facade. The accessory structures proposed for replacement are not character-defining features of this property or the Avenues Historic District.	Complies

6. Deteriorated architectural features shall be repaired rather than replaced wherever feasible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other structures or objects;	No repair or replacement of any deteriorated architectural features is proposed at this time. Once work gets underway, some repair or limited replacement of deteriorated architectural elements (such as the wood shingle siding) may be necessary. Such work will comply with this standard.	Complies
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible;	Not applicable—the applicant is not proposing any chemical or physical cleaning treatments to the historic home as part of this project.	N/A
8. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archaeological material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment;	The proposed addition uses traditional materials and design elements similar to those used on the historic house. The massing and main pitch of the roofline duplicates the pitch of the historic front- facing and cross gables, and does not exceed the height of the original structure. The dormer on the addition echoes the proportions and materials of shed dormers from an earlier addition. The roof overhang and balcony on the rear facade of the addition are contemporary design elements that the HLC and Planning Staff have approved with many other rear additions. The materials, fenestration pattern and detailing of the addition and rear porch are traditional and very similar to that of the historic building.	Complies

9. Additions or alterations to structures and objects shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired. The new work shall be differentiated from the old and shall be compatible in massing, size, scale and architectural features to protect the historic integrity of the property and its environment;	The new addition would subsume an existing one story rear addition covered with aluminum siding. The addition is connected to the historic house by a linking element set back from the side walls, providing a clear transition between old and new. The connector and addition could be removed in the future without compromising the essential form and integrity of the contributing structure. The proposed addition and new garage would be located entirely behind the existing building and will be obscured by the existing building when viewed from the public way, minimizing the visual impact on the historic structure and the surrounding streetscape. Their design references, but does not duplicate, the massing, size, scale, and architectural features of the historic building, allowing its original proportions and character to remain clearly evident. Planning Staff will work with the applicants to ensure that the addition's design is appropriately differentiated from the historic building.	Complies
 10. Certain building materials are prohibited including the following: a. Aluminum, asbestos, or vinyl cladding when applied directly to an original or historic material. 	The project does not involve the direct application of aluminum, asbestos, or vinyl cladding to any historic materials. The aluminum siding on the existing one story rear addition will be removed.	N/A
11. Any new sign and any change in the appearance of any existing sign located on a landmark site or within the H Historic Preservation Overlay District, which is visible from any public way or open space shall be consistent with the historic character of the landmark site or H Historic Preservation Overlay District and shall comply with the standards outlined in chapter 21A.46 of this title.	Not applicable—the project does not involve any signage.	N/A

ATTACHMENT X: APPLICABLE DESIGN GUIDELINES

Design Guidelines for Historic Residential Properties & Districts in Salt Lake City, Chapter 8: Additions and Chapter 9: Accessory Structures, are the primary relevant historic guidelines for this design review, and are identified below for the Commission's reference.

Historic Residential Properties & Districts in Salt Lake City, Chapter 8: Additions

Design Objective:

The design of a new addition to a historic building should ensure that the building's early character is maintained. Older additions that have taken on significance should also be preserved.

8.1 An addition to a historic structure should be designed in a way that will not destroy or obscure historically important architectural features.

• Loss or alteration of architectural details, cornices and eave lines, for example, should be avoided.

8.2 An addition should be designed to be compatible in size and scale with the main building.

- An addition should be set back from the primary facades in order to allow the original proportions and character of the building to remain prominent.
- The addition should be kept visually subordinate to the historic portion of the building.
- If it is necessary to design an addition that is taller than the historic building, it should be set back substantially from significant facades, with a "connector" link to the original building.

8.3 An addition should be sited to the rear of a building or set back from the front to minimize the visual impact on the historic structure and to allow the original proportions and character to remain prominent.

• Locating an addition at the front of a structure is usually inappropriate.

8.4 A new addition should be designed to be recognized as a product of its own time.

- An addition should be made distinguishable from the historic building, while also remaining visually compatible with historic features.
- A change in setbacks of the addition from the historic building, a subtle change in material, or the use of modified historic or more current styles are all techniques that may be considered to help define a change from old to new construction.
- Creating a jog in the foundation between the original building and the addition may help to establish a more sound structural design to resist earthquake damage, while helping to define it as a later addition.

8.5 A new addition should be designed to preserve the established massing and orientation of the historic building.

• For example, if the building historically has a horizontal emphasis, this should be reflected in the addition.

8.6 A new addition or alteration should not hinder one's ability to interpret the historic character of the building or structure.

- A new addition that creates an appearance inconsistent with the historic character of the building is inappropriate.
- An alteration that seeks to imply an earlier period than that of the building should be avoided.
- An alteration that covers historically significant features should be avoided.

8.7 When planning an addition to a building, the historic alignments and rhythms that may exist on the street should be defined and preserved.

- Some roof lines and porch eaves on historic buildings in the area may align at approximately the same height. An addition should not alter these relationships.
- Maintain the side yard spacing, as perceived from the street, if this is a characteristic of the setting.

8.8 Exterior materials that are similar to the historic materials of the primary building or those used historically should be considered for a new addition.

- Painted wood clapboard, wood shingle and brick are typical of many historic residential additions.
- Brick, CMU, stucco or panelized products may be appropriate for some modern buildings.

8.9 Original features should be maintained wherever possible when designing an addition.

- Construction methods that would cause vibration which might damage historic foundations should be avoided.
- New drainage patterns should be designed to avoid adverse impacts to historic walls and foundations.
- New alterations also should be designed in such a way that they can be removed without destroying original materials or features wherever possible.

8.10 The style of windows in the addition should be similar in character to those of the historic building or structure where readily visible.

• If the historic windows are wood, double-hung, for example, new windows should appear to be similar to them, or a modern interpretation.

Ground Level Additions:

8.11 A new addition should be kept physically and visually subordinate to the historic building.

- The addition should be set back significantly from primary facades.
- The addition should be consistent with the scale and character of the historic building or structure.
- Large additions should be separated from the historic building by using a smaller connecting element to link the two where possible.

8.12 Roof forms should be similar to those of the historic building.

- Typically, gable, hip and shed roofs are appropriate.
- Flat roofs are generally inappropriate, except where the original building has a flat roof.

8.13 On primary facades of an addition, a 'solid-to-void' ratio that is similar to that of the historic building should be used.

• The solid-to-void ratio is the relative percentage of wall to windows and doors seen on the façade.

Historic Residential Properties & Districts in Salt Lake City, Chapter 9: Accessory Structures

Design objective

Significant historic accessory structures should be preserved when feasible. this may include preserving the structure in its present condition, rehabilitating it or identifying an adaptive use so that the accessory structure provides new functions. newly constructed secondary structures should remain subordinate to the primary building, and compatible in mass and scale.

9.2 new accessory buildings should be constructed to be compatible with the primary structure.

• In general, garages should be unobtrusive and not compete visually with the house.

- While the roofline does not have to match the house, it should not vary significantly.
- Appropriate materials may include horizontal siding, wood shingles, brick, and in some cases stucco.
- In the case of a two-car garage consider using two single doors since they help to retain a sense of human scale and present a less blank look to the street.

9.3 Attaching garages and carports to the primary structure should be avoided.

- Typically before c. 1940 a garage was a separate structure, at the rear of the lot, and this pattern should be maintained where possible.
- The city considers attached accessory structures on a case-by-case basis.
- An attached garage may be treated as an addition. regulations and guidelines (chapter 8) for additions may apply.

ATTACHMENT I: PUBLIC PROCESS AND COMMENTS

Notice of the public hearing for the proposal include:

- Notices mailed Thursday, September 17, 2020;
- Agenda posted on the Planning Division and Utah Public Meeting Notice websites on Thursday, September 17, 2020;
- Public hearing notice posted at subject property September 24, 2020.

Public comments:

At the time of completion of this report, no public comment had been received. Any comment received after date of publication will be forwarded to the Commission for their consideration.